



## PLAN COMMISSION AGENDA

June 11, 2026 – 6:00 pm  
Village Hall  
235 Hickory Street, Pewaukee, WI 53072

To view the meeting: [https://www.youtube.com/watch?v=\\_xd-T90yq8A](https://www.youtube.com/watch?v=_xd-T90yq8A)

1. Call to Order, Roll Call, Pledge of Allegiance, & Moment of Silence.
2. Citizen Comments: *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission. Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*
3. Approval of the Minutes:
  - a. Plan Commission Meeting – May 12, 2026
4. Old Business.
  - a. None
5. New Business.
  - a. Review, discussion and possible action on a two-lot certified survey map (CSM). The applicant is Christian Brother Automotive, and the owner is Meadow Creek Limited Partnership, LLC. This request is a 38.175-acre parcel located at PWV 0901984006, and is zoned B-1 Community Business District with a Planned Unit Development Overlay District, C-1 Shoreland Wetland District and C-2 Conservancy District.
  - b. Review, discussion, and possible action on Business Site Plan / Plan of Operations request of Johnson Financial Group to construct a new 3,116 sq. ft. building and associated parking area. This request is located at 1194 Capitol Drive / PWV 0903099. The 1.59-acre property is zoned B-1 Community Business District. The property owner / applicant is Johnson Financial Group.
  - c. Review, discussion, and possible direction to staff regarding Comprehensive Plan's future land use designation and zoning designation for property located at the southeast corner of Ryan Street and Highway 16. PWV 0884982 & 0884983.
6. Citizen Comments. – *This is an opportunity for citizens to share their opinions with Commission Members on any topic they choose. However, due to Wisconsin Open Meeting laws, the Commission is not able to answer questions or respond to your comments. All comments should be directed to the Commission.*

*Comments are limited to 3 minutes per speaker. Speakers are asked to use the podium and state their name and address.*

7. Adjournment

Note: It is possible that members and/or possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; action will not be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in the notice. Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. To request such assistance, contact the Village Clerk at 262-691-5660.

Dated: June 4, 2026

**PLAN COMMISSION AGENDA**  
**May 14, 2026 – 6:00 pm**  
**Village Hall**  
**235 Hickory Street, Pewaukee, WI 53072**

To view the meeting: <https://www.youtube.com/watch?v=YOANskOwL0c>

**1. Call to Order, Roll Call, Pledge of Allegiance, & Moment of Silence.**

President Knutson called the meeting to order at approximately 6:01 p.m.

Plan Commission members present: Comm. Brian Belt; Comm. Katie Jelacic; Comm. Sam Liebert; Trustee Bob Rohde; and President Jeff Knutson.

Excused: Comm. Mark Grabowski and Comm. Theresa Hoff.

Also present: Village Attorney, Matt Gralinski; Village Planner, Mark Lyons; Village Engineer, Jake Scholbe; Village Administrator, Matt Heiser; and Deputy Clerk, Mackenzie Quigley.

**2. Public Hearing –**

- a. Conditional Use Grant request by Taqueria Don Chava to add outdoor seating. This request is located at 220 Oakton Avenue. PWV 0899001, is zoned B-2 Downtown Business District. Property owner is Salori Enterprises, LLC and Applicant is Taqueria Don Chava – Salvador Aguilero Delgado.**

- No Comment

- b. Rezone Conditional Use Grant and Business Plan of Operation request by Fore Seasons LLC for a golf simulator business. This request is located at 1405 Capitol Drive. PWV 0901984002, is zoned B-1 Community Business District with a Planned Development Overlay. Property owner is Chestnut Limited Partnership and Applicant is Fore Seasons, LLC.**

- No Comment

**3. Citizen Comments –**

No comment.

**4. Approval of the Minutes -**

- a. Plan Commission Meeting – April 09, 2026**

**Comm. Belt motioned/seconded by Comm. Liebert to approve the April 09, 2026, Regular Plan Commission meeting minutes as presented.**

**Motion carried 5-0.**

**5. Old Business -**

- a. None**

## 6. New Business -

- a. **Review, discussion, and possible action on Conditional Use Grant request by Taqueria Don Chava to add outdoor seating. This request is located at 220 Oakton Avenue. PWV 0899001, is zoned B-2 Downtown Business District. Property owner is Salori Enterprises, LLC and Applicant is Taqueria Don Chava – Salvador Aguilero Delgado.**

Belt requested clarification on the item, stating that it appeared to relate to private rather than public parking.

Lyons clarified that the request pertains to a land use designation. He explained that all restaurant uses, including those with outdoor seating, require conditional use approval. He further noted that an amendment to the existing Conditional Use Grant (CUG) is required, as outdoor dining was not previously approved as part of the original authorization.

Lyons provided an overview of the request in full and reviewed the proposed conditions of approval.

### **Village Planner Recommendations:**

The Village of Pewaukee Plan Commission Approves the Conditional Use Grant Request Taqueria Don Chava for the property located at 220 Oakton Avenue, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of May 14, 2026, are met.
2. Final site plan / layout of the outdoor seating area shall be submitted to the Village for final approval prior to finalization of the Conditional Use Grant. Including any proposed fencing, landscaping or lighting.
3. Hours of operation shall be limited to daily from 10am-9pm.
4. This approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission.
5. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission, Village Engineer, Department of Public Works and Village Planner for the site plan, and other documentation.
6. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall

independently determine the suitability of all structures on the property for the petitioner's intended uses.

7. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new conditional use approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
8. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
9. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
10. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

**Trustee Rohde motioned/seconded by Comm. Belt to accept the proposal as written with Planner recommendations.**

**Motion carried 5-0.**

- b. **Review, Review, discussion, and possible action on Conditional Use Grant and Business Plan of Operation request by Fore Seasons LLC for a golf simulator business. This request is located at 1405 Capitol Drive / PWV 0901984002, is zoned B-1 Community Business District with a Planned Development Overlay. Property owner is Chestnut Limited Partnership and Applicant is Fore Seasons, LLC.**

Lyons summarized the staff recommendations, noting that due to the previously approved Planned Unit Development (PUD), the applicant would be required to return to the Plan Commission for sign approval.

Rohde asked whether a condition could be added to authorize the Administrator to approve the signage administratively, eliminating the need for Plan Commission review.

Attorney Gralinski responded that such a modification could not be made, as the sign approval requirement is established under the terms of the PUD.

**Village Planner Recommendations:**

The Village of Pewaukee Plan Commission Approves the Conditional Use Grant Request Fore Seasons, LLC for the property located at 1405 Capitol Drive Units B-E, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of May 14, 2026, are met.
2. All proposed exterior signs shall be submitted to the Plan Commission for separate consideration in accordance with the existing Plan Unit Development.
3. Hours of operation shall be limited to: Monday – Saturday: 10:00am-11:00pm and Sunday: 10:00am-9:00pm.
4. Department of Public Works Conditions:
  - a. A grease trap should be installed for food serving uses.
  - b. Provide televising video showing Sanitary sewer lateral from basement to the main. The lateral needs to be reviewed for structural integrity and potential infiltration. The Village staff or designated representative will review the sewer lateral video and check if the lateral condition is adequate or needs rehabilitation. If the work cannot be completed prior to issuance of permit or occupancy, then posting a \$5,000 financial guarantee is acceptable to allow applicant to proceed. This includes costs for televising and potential work on sewer lateral.
  - c. Schedule and conduct appointment with the Water Utility Department staff to identify the water service pipe material prior to issuance of permit. If service material is lead, the Applicant will be required to replace the water service from building to the curb stop. The phone number for the Water Utility is 262-200-7506.
5. This approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission.
6. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission, Village Engineer, Department of Public Works and Village Planner for the site plan, and other documentation.
7. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.

8. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new conditional use approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
9. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
10. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
11. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

**Trustee Rohde motioned/seconded by Comm. Liebert to approve the proposal from Fore Seasons, LLC with Planner recommendations.**

**Motion carried 5-0.**

- c. **Review discussion, and possible action on Business Site Plan Amendment request of Heartland Dental to add an ADA accessible walkway. This request is located at 135 Capitol Drive / PWV 0898987. The 0.35-acre property is zoned B-2 Downtown Business District. The property owner is Richard and Nancy Niedziela Revocable Trust, and the applicant is Cole & Associates – Aaliyah Busch.**

Knutson requested additional information regarding the parking situation at this property, noting that he has received complaints from residents.

Lyons stated that the property is a legal nonconforming use and does not provide on-site parking consistent with current code requirements. He explained that because the request does not involve a change in use of the building, additional parking cannot be required at this time.

**Department of Public Works Comments:**

The Department of Public Works has reviewed the proposed plan and offered the following recommendations:

1. Label name of Engineering firm with address and phone number on drawing.
2. In public right of way, there are some existing issues with the concrete sidewalk.
  - a. Per Village Ordinance the maintenance, removal, and replacement of public concrete sidewalk is the responsibility of the adjoining property owner. Any sidewalk panels with cracks, spalling or missing pieces or misaligned panels must be removed and replaced by adjoining property owner. Based on initial review, there are two (2) cracked concrete sidewalk panels that need replacement at the west lot line. Village Engineering staff or designated representative can mark panels if desired. These panels should be shown for replacement on drawing for review and approval. A right of way permit is needed to remove or replace sidewalk and to follow Village sidewalk specification. The location of the two (2) cracked panels is located in a driveway approach with existing Non-ADA compliant sidewalk which means that the crossslope is over 2%. The replacement of the non-compliant ADA panels will cause approximately 4 more panels to be needing replacement across the west driveway approach.
  - b. On east side of building, you are proposing new private sidewalk that connects to existing public concrete sidewalk which is also an unused driveway approach. Unused driveway approaches are typically removed because that cross slope is not ADA compliant being over 2%. This easterly driveway approach includes approximately 6 concrete panels which should be removed and replaced. If sidewalk is replaced, then the concrete driveway curb and gutter should be removed and replaced in this area with vertical face curb and gutter. The length is approximately 33 feet.
3. Show all existing utilities on the lot to verify conflicts.
  - a. Verify location of your existing sanitary sewer lateral and show on drawing. The location of the existing sanitary sewer lateral will be also added to Village Geographic Information System (GIS).
  - b. The proposed sidewalk may be located over an existing public water main pipe and possibly an existing storm sewer pipe. A clip is attached showing the Village's records of the two pipes. Based on review of Village mapping, it appears that a public water main exists on the subject lot. If water main easement exists on lot, show on drawing. You may need to review your existing title policy.

**Village Planner Recommendations:**

The Village of Pewaukee Plan Commission Approves the Business Site Plan Amendment Request for Heartland Dental for the property located at 135 Capitol Drive, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of May 14, 2026 are met.
2. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission and Board, Village Engineer and Village Planner for the site plan, and other documentation.
3. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
4. Fire Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village of Pewaukee Fire Department Chief (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village of Pewaukee Fire Department Chief (or designee), if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of fire safety of any structure on the property, or as proof of compliance with any particular fire safety standard that would apply to new construction. The petitioner shall independently determine the fire safety and suitability of all structures on the property for the petitioner's intended uses.
5. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Business Site Plan approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
6. The Property Owner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.
7. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.

8. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
9. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

**Village Engineer Recommendations:**

I recommend approval of the site civil plans (Sheets C1.0–C4.0), prepared by Cole and Associates and dated March 30, 2026, subject to staff satisfaction of the following comments:

General Comments

1. Include contact information for the project engineer on the plan set to facilitate communication during construction.
2. Depict perimeter erosion control measures on the final plans to limit sediment runoff during construction.
3. Provide restoration details for all disturbed areas, including specifications for topsoil placement, seeding, erosion control matting, and other applicable restoration measures.

Sheet C2.0 – Notes Sheet

4. Revise all references from the City of Pewaukee to the Village of Pewaukee throughout the plan notes.

Sheet C3.0 – Engineering Site Plan

5. Add a proposed slope intercept to clearly define the proposed grading and restoration limits.

Sheet C4.0 – Detail Sheet

6. Provide additional information regarding the proposed aggregate base, including material type and stone size, for the sidewalk section.

**Comm. Liebert motioned/seconded by Comm. Jelacic to approve site civil plans (Sheets C1.0–C4.0), prepared by Cole and Associates and dated March 30, 2026, subject to staff satisfaction and planner recommendations.**

**Motion carried 5-0.**

- d. **Review, discussion, and possible action on Business Site Plan / Plan of Operations Amendment request of Streetworks Exotics for a 4,225 sq. ft. building addition and associated parking area. This request is located at 600 Hickory Street / PWV 0900993001. The 2.04-acre property is zoned B-5 Light**

**Industrial District. The property owner is Road Runner Venture LLC and the applicant is JAKnetter Architects, Inc – Jay A. Knetter.**

Attorney Gralinski disclosed, for the record and in the interest of transparency, that both the business located at 600 Hickory Street and the property owner are clients of his; however, he stated that no conflict of interest exists.

Lyons provided an overview of the request, with particular attention to the proposed parking lot layout. He explained that the plan will need to be modified to comply with the existing legal nonconforming front yard setback. Lyons further noted that the Plan Commission has the authority to approve modifications to the side yard setback but does not have the authority to modify the front yard setback. The applicant will need to work with staff to develop a plan so that it complies with front yard setback requirements.

**Village Planner Recommendations:**

The Village of Pewaukee Plan Commission Approves the Business Site Plan Amendment Request for Streetworks Exotics for the property located at 600 Hickory Street, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of May 14, 2026 are met.
2. Submit revised site layout, landscaping and lighting plans for review and approval by Village staff prior to permit applications.
3. Site shall be development in compliance with the plans submitted for Plan Commission review on May 14, 2026 or as modified to comply with the necessary change identified herein.
4. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission and Board, Village Engineer and Village Planner for the site plan, and other documentation.
5. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
6. Fire Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village of Pewaukee Fire Department Chief (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village of Pewaukee Fire Department Chief (or

designee), if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of fire safety of any structure on the property, or as proof of compliance with any particular fire safety standard that would apply to new construction. The petitioner shall independently determine the fire safety and suitability of all structures on the property for the petitioner's intended uses.

7. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Business Site Plan approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
8. The Property Owner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.
9. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
10. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
11. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

**Village Engineer Recommendations:**

I recommend approval of the site civil plans (Sheets C1.0–C4.0), prepared by JSD Professional Services, Inc. and dated April 14, 2026, subject to staff satisfaction of the following comments:

**General Comments**

1. Final plans shall be stamped by a licensed engineer in the state of Wisconsin.
2. Provide existing contour labels on all applicable sheets.
3. Any existing roadway pavement along Hickory Street disturbed or damaged from the driveway and/or parking lot construction shall be replaced in kind. Roadway

restoration at a minimum shall be completed by sawcutting and removing the existing pavement in neat straight lines extending 2 feet toward the roadway centerline along the full width of the driveway or as applicable, with a minimum pavement section adhering to the heavy-duty asphalt pavement section as shown in the project plans.

**Comm. Belt motioned/seconded by Comm. Liebert to approve the plan with the exception of staff figuring out the front yard setback, with approval of side yard setback of 4.5 feet, along with staff recommendations.**

**Motion carried 5-0.**

- e. Review, discussion, and possible action on Business Site Plan request of Pewaukee School District for a parking lot. This request is located at 404 Lake Street / PWV 0899235004. The 4.250-acre property is zoned IPS Institutional and Public Service District. The property owner and the applicant is Pewaukee School District.**

Lyons explained that the request differs from those previously presented to the Plan Commission earlier in the year, noting that the proposed location is situated more internally on school district-owned property zoned for institutional use and is further removed from the adjacent residential neighborhood.

Rohde stated that the School District has made considerable efforts to address prior concerns raised by neighboring residents and to incorporate feedback provided by the Village.

**Mike Cady, Superintendent of Pewaukee School District** indicated that their will be some revisions made to the landscaping plan that was previously submitted to the commission.

Lyons clarified that the proposed use is permitted under the current zoning and is compliant with all applicable code requirements.

**Department of Public Works Comments:**

The Department of Public Works has reviewed the proposed plan and offered the following recommendations:

1. In accordance with Village of Pewaukee Ordinance 40.458 which references Waukesha County storm water Ordinance 14-333: Unless other exempted in this ordinance, a storm water permit under section 14-334 shall be required and all storm water management shall apply that meet any of the following: (b)(2): is a certified survey map or other land development activity that may ultimately result in the addition of 0.5 acres or greater of impervious surfaces that did not

exist prior to May 28, 1998, including smaller individual sites that are part of a common plan of development that may be constructed at different times.

- a. List disturbance area and additional proposed impervious area on drawing. If this information is listed, please disregard.

**Village Planner Recommendations:**

The Village of Pewaukee Plan Commission Approves the Business Site Plan Request for Pewaukee School District for the property located at 404 Lake Street, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of May 14, 2026 are met.
2. Parking lot shall be developed in accordance with the Plans as submitted and approved by Plan Commission on May 14, 2026.
3. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission and Board, Village Engineer and Village Planner for the site plan, and other documentation.
4. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
5. Fire Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village of Pewaukee Fire Department Chief (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village of Pewaukee Fire Department Chief (or designee), if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of fire safety of any structure on the property, or as proof of compliance with any particular fire safety standard that would apply to new construction. The petitioner shall independently determine the fire safety and suitability of all structures on the property for the petitioner's intended uses.
6. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Business Site Plan approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or

other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.

7. The Property Owner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.
8. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
9. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
10. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

**Village Engineer Recommendations:**

I recommend approval of the site civil plans (Sheets C1.0–C4.0), prepared by JSD Professional Services, Inc. and dated April 9, 2025, subject to staff satisfaction of the following comments:

**General Comments**

1. Final plans shall be stamped by a licensed engineer in the state of Wisconsin.

**Sheet C3.0 – Grading Plan**

2. Provide pipe sizes and inverts for the existing manhole that is proposed to be lowered to verify that the structure will still have sufficient cover over the existing pipes.
  - a. In addition, this manhole is proposed to be lowered by over 2 feet. The engineer shall verify that the existing manhole can accommodate the proposed rim elevation without being replaced or reconstructed. In the event the manhole needs to be replaced or reconstructed; manhole details shall be provided in the final plans to clarify the extent of the utility work.

**Trustee Rohde motioned/seconded by Comm. Liebert to accept this Business Site Plan with staff recommendations.**

**Motion carried 5-0.**

**f. Review, discussion, and possible direction to staff regarding Seasonal and Temporary Uses in the Village of Pewaukee.**

Heiser provided an overview, noting that he has received concerns regarding seasonal and temporary uses within the Village. He explained that all such activities currently occurring are permitted under the existing code. Heiser further stated that if the Plan Commission determines the current regulations are insufficient, staff could explore potential updates to the code to address seasonal and temporary uses.

Discussion followed regarding practices in other municipalities, potential regulation of incoming businesses, and the possibility of restricting temporary uses in certain areas of the Village. Commissioners also discussed the implementation of fees, noting concerns that allowing such uses to operate without cost may be inequitable to established businesses that pay taxes and fees within the Village.

**7. Citizen Comments -**

No Comments

**8. Adjournment -**

**Trustee Rohde motioned/seconded by Comm. Belt to adjourn the May 14, 2026, Regular Plan Commission meeting at approximately 6:43 p.m.**

**Motion carried 5-0.**

Respectfully submitted,

Mackenzie Quigley  
Deputy Clerk

TO: Village of Pewaukee Plan Commission  
CC: Matt Heiser – Village Administrator, Mackenzie Quigley - Clerk  
FROM: Mark Lyons, Planning Consultant  
RPT DATE: June 4, 2026  
MTG DATE: June 11, 2026  
RE: 5a – Two-lot CSM for Christian Brothers Automotive

---

**BACKGROUND:**

1. Petitioner: Christian Brother Automotive
2. Property Owner: Meadow Creek Limited Partnership
3. Location/Address: West and north of 1357 Capitol Drive
4. Tax Key Number: PWV 0901984006
5. Area: ~38.175 AC
6. Existing Zoning: B-1 Community Business District with a Planned Unit Development Overlay, C-1 Shoreland Wetland District, C-2 Conservancy District.
7. Proposed Zoning: N/A
8. Future Land Use: Commercial
9. Proposed Future Land Use: N/A

**OVERVIEW:**

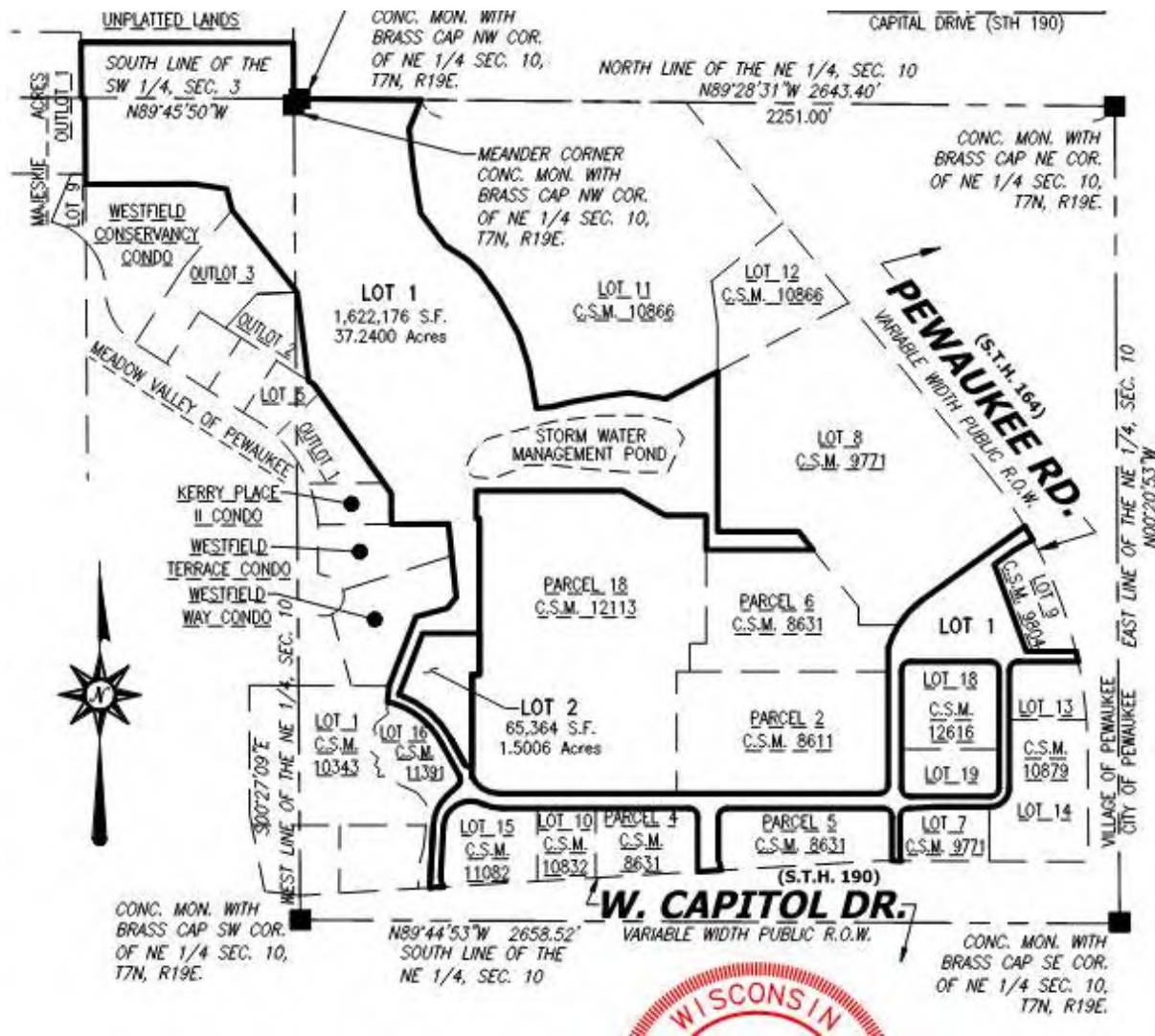
The Petitioners are requesting approval of a Certified Survey Map in order to split the existing parcel into two lots. Lot 2 would be for the future Christian Brothers Automotive development and Lot 1 would be the remainder of the parent parcel.

**SUBMITTAL:**

The enclosed submittal includes the application and Certified Survey Map.

**PLANNER COMMENTS:**

1. **Certified Survey Map.** The actual survey has been reviewed by the Village Engineer for adherence to Village and State codes. A copy of that report and associated comments are attached to this report.
2. **Land Division - zoning.** The CSM shows splitting the existing 38.175 acre parcels into two new lots. Lot 1 is 37.240 acres and contains the majority of the parent parcel. Significant portions of the lot are conservancy and therefore are not developable. The lot also includes a storm water management pond for the surrounding developments. The parcel is irregular in shape as a result of it being the remainder of the developable property. Lot 2 is 1.5006 acres in size and is being split off to accommodate the development of the Christian Brothers Automotive project, previously approved by the Plan Commission. A condition of that approval was the completion of a CSM to create the developable parcel. This CSM will result in that condition being satisfied.



**Department of Public Works Comments:**

The Department of public works has also reviewed the proposed CSM. Below are DPW's advisory comments.

1. Are the lands within proposed Lot 1 that are located west of Lot 9, CSM 9804 being anticipated for future development? Is a future CSM anticipated for this area when a buyer is found?
2. An existing storm sewer pipe crosses this parcel but no easement is shown on the CSM. A new easement is needed to be submitted, reviewed, approved, and recorded to current owner prior to approval of CSM.
3. An pond maintenance agreement and easement is located around the regional document. Show easement and document number for maintenance agreement on CSM. If this document has not been recorded, the document should be recorded prior to approval of this CSM.
  - a. In the copy of document that Village has, Addendum #1 was not been completed. This addendum should be completed and recorded by Owner prior to approval of this CSM.
4. Add note to CSM regarding document referencing storm water maintenance agreement related to this subject Lot 2. Sample wording below:
  - a. Lot 2 of this CSM is subject to storm water maintenance agreement recorded with document #xxxxxxx.
5. Several easements are shown on CSM. Label source document for each easement.

6. A note should be added to CSM stating the recorded document creating the access easement for proposed Lot 2.
7. The easement document granting access through this parcel should be submitted for review. It should be verified that cross access is granted to access road from west prior to approval of this CSM.

**STAFF RECOMMENDATION:**

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

The Village of Pewaukee Plan Commission **Approves** the Certified Survey Map Request for a two-lot CSM for the property located at **West and north of 1357 Capitol Drive**, subject to the following conditions:

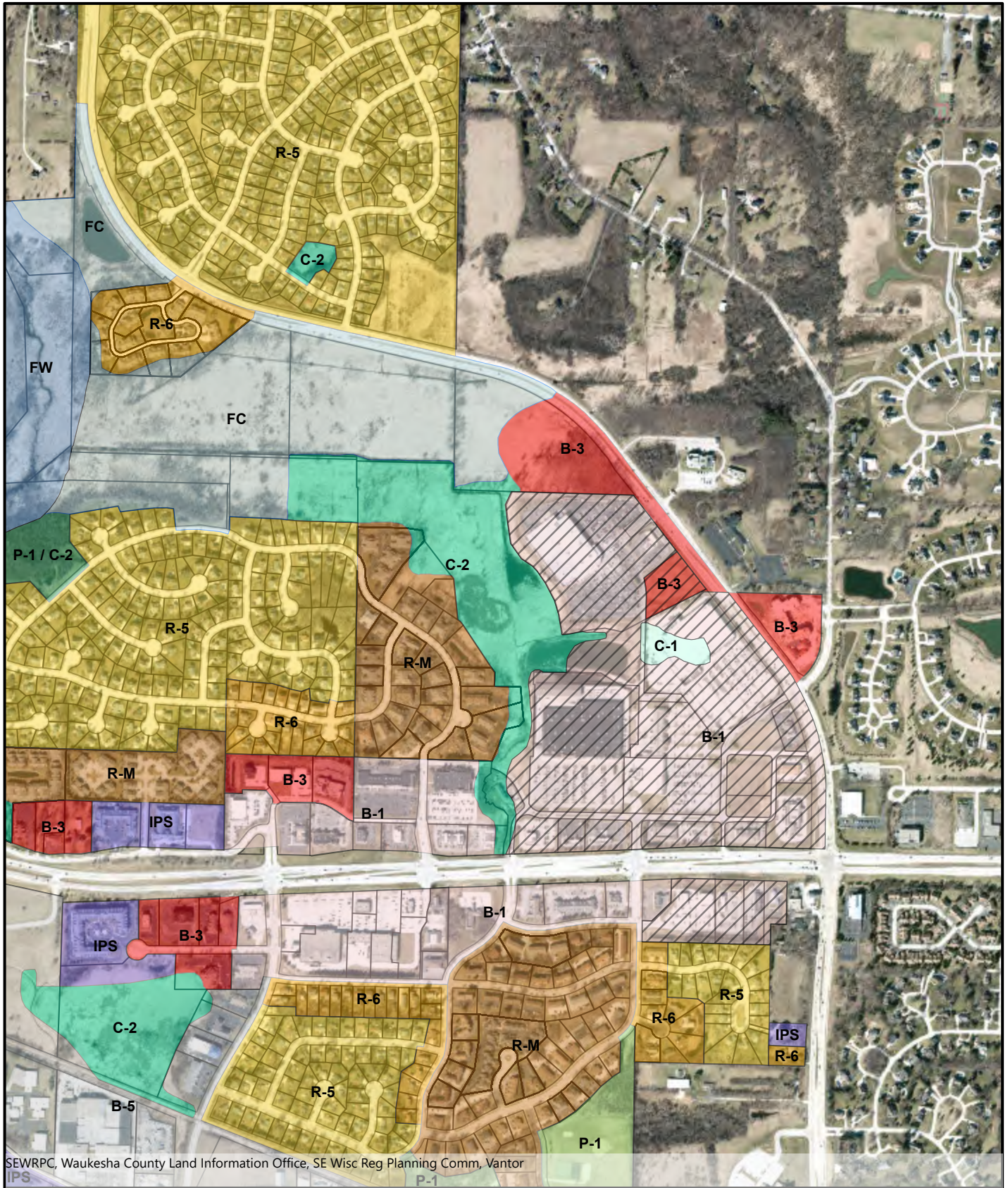
1. Any conditions made by the Plan Commission at their meeting of June 11, 2026.
2. That all Village Engineer and Department of Public Works comments are satisfied for the Certified Survey Map prior to Village signature and recording.

**EXHIBIT:**

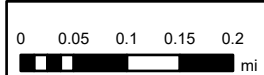
- A. GIS Property Location Map
- B. Petitioner Application



# Zoning Map



SEWRPC, Waukesha County Land Information Office, SE Wisc Reg Planning Comm, Vantor  
IPS



1" = 934'  
1:11,205

Village of Pewaukee  
235 Hickory Street  
Pewaukee, WI 53072  
262-691-5660

Notes  
None

DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



# PLAN COMMISSION MISCELLANEOUS APPLICATION

No Application Fee for Miscellaneous Services  
Due approximately 4 weeks prior to meeting date

235 Hickory St - Pewaukee WI 53072—villagehall@villageofpewaukee.gov—262-691-5660

### PROPERTY / PROPERTY OWNER INFORMATION

Property Address: Capitol Drive, Pewaukee, WI 53072 Tax Key: PWV 0901984006

Zoning of Property: B1 Community Business & General Conservancy Zoning Property Owner Name: Meadow Creek Limited Partnership, Attn: Jim Forester

Property Owner Email: jim@forester.com Property Owner Phone #: (414) 916-1234

### APPLICANT INFORMATION (IF DIFFERENT THAN OWNER)

Applicant Name: Christian Brothers Automotive, Attn: William Bostic Applicant Phone #: (346) 852-1669

Applicant Address: 17725 Katy Freeway, Suite 200, Houston, TX 77094

Applicant Email: william.bostic@cbac.com

### TYPE OF REQUEST: CHECK ALL THAT APPLY

- Sign Plan Approval
- Preliminary Plat Approval
- Final Plat Approval
- Developer's Agreement
- Certified Survey Map
- Other (Describe) \_\_\_\_\_

### SIGNATURES

**Application will not be processed without a completed Professional Services Agreement.**

This signature authorizes the Village of Pewaukee to process the consultation application proposed for my property and further authorizes the Village or its representatives to conduct reasonable and routine inspections of my property for the purposes of evaluating this application.

Signature of Current Property Owner: by: *Jim Forester* Date: May 6, 2026

Signature of Applicant: *William Bostic* Date: 5/6/2026

### DIRECTIONS

Please include the following required items with this application:

1. One paper copy of the submittal, including plans/drawings/applicable attachments in a size 11x17 page size or less. Also provide one full size scale copy if larger than 11x17.
2. One digital copy of the submittal, including plans/drawings/applicable attachments. (USB/Email)
3. Completed Professional Services Reimbursement Form.

**For Office Use Only** Staff Initials: \_\_\_\_\_ Date/Time Received: \_\_\_\_\_



# PROFESSIONAL SERVICES REIMBURSEMENT AGREEMENT

235 Hickory St, Pewaukee WI 53072—villagehall@villageofpewaukee.gov—262-691-5660

**PROPERTY INFORMATION**

Property Address: Capitol Drive, Pewaukee, WI 53072 Tax Key: PWV 0901984006  
Property Owner's Name: Meadow Creek Limited Partnership, Attn: Jim Forester Phone Number: (414) 916-1234

**RESPONSIBLE PARTY INFORMATION - All invoices will be mailed to this address.**

Business Name: Christian Brothers Automotive FEIN: 76-0020837  
Person Responsible for Payment / Business Contact Name: William Bostic  
Mailing Address: 17725 Katy Freeway, Suite 200, Houston, TX 77094  
Responsible Party / Contact Phone Number: William Bostic / (346) 852-1669  
Responsible Party / Contact Email Address: William Bostic / william.bostic@cbac.com

**AGREEMENT / SIGNATURES - Property Owner signature is required.**

Pursuant to the Village of Pewaukee Code of Ordinances Sec 40.116(b), the Village Board has determined that whenever the services of the Village Attorney, Village Engineer, Village Planner, or any other of the Village's professional staff or other expert consultants are retained by the Village in order to complete a proper project review results in a charge to the Village for that professional's time and services and such service is not a service supplied to the Village as a whole, the Village Treasurer shall charge those service fees incurred by the Village to the applicant/property owner. Also, be advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are the responsibility of the property owner or responsible party.

By signing this form, I, the undersigned, have been advised that pursuant to the Village of Pewaukee Code of Ordinances, if the Village Attorney, Village Engineer, Village Planner, or any other Village professional staff or other expert consultants retained by the Village in order to complete a proper project review provides services to the Village because of my activities, whether at my request or at the request of the Village, I shall be responsible for the fees incurred. In addition, I have been advised that pursuant to the Village of Pewaukee Code of Ordinances, certain other fees, costs, and charges are my responsibility.

The Village will place fees from unpaid invoices on the real estate tax bill of the property that corresponds to the incurred services.

MEADOW CREEK LIMITED Partnership  
Property Owner Signature: [Signature] Printed Name: JAMES G. FORESTER Date: May 6, 2026  
President of CBAC, Inc. General Partner  
Applicant Signature: William Bostic Printed Name: William Bostic Date: 5/6/2026

**For Office Use Only** Staff Initials: \_\_\_\_\_ Date Received: \_\_\_\_\_



CREATIVITY BEYOND ENGINEERING

**DATE:** June 1, 2026

**TO:** Village of Pewaukee Plan Commission

**FR:** Jake Scholbe, P.E. – Village Consulting Engineer  
John Casucci, P.L.S. – Senior Project Manager

**CC:** Matt Heiser – Village Administrator  
Mackenzie Quigley – Village Clerk  
Mark Lyons – Village Planner  
Matt Gralinski – Village Attorney  
Dave Buechl – Director of Public Works/Engineer

**RE:** Christian Brothers Automotive Certified Survey Map Review – Capitol Drive, Pewaukee, WI 53072

## **Report**

The applicant has applied for a certified survey map approval for the redivision of Lot 17 of Certified Survey Map No. 11391, tax parcel PWV 0901984006 north of Capitol Drive. A certified survey map of was provided.

## **Recommendation**

We recommend approval of the Certified Survey Map (Sheets 1-14) subject to the following comments being addressed prior to final staff approval:

1. The CSM redivides a part of Lot 17, CSM 11391. Lot 17 was previously divided by CSMs 12113 & 126818. The heading and legal description should be revised to reflect this.
2. Show separate chord lines for curves C14 & C27.
3. The bearing reference needs to be corrected; we presume to the East Line of the NE  $\frac{1}{4}$  of Section 10.
4. Label W. Capitol Drive on sheets 3, 6, and 8. Also label Pewaukee Rd on Sheet 8.
5. We question if “dedicated” should be listed in the Owner’s certificate.
6. We recommend providing a detail at the NW corner of the NE  $\frac{1}{4}$  to detail if a monument was set at that corner and to depict dimensions to the meander corners.
7. We recommend a lighter pen weight on the boundary dimensions.
8. We recommend certain overwrites be revised, as shown.

a part of (all sheets)

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 17 of Certified Survey Map No. 11391, all being a part of the Southeast 1/4 of the Southwest 1/4 of Section 3, the Northeast 1/4 of the Northwest 1/4 of Section 10 and the Northwest 1/4, Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 10, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

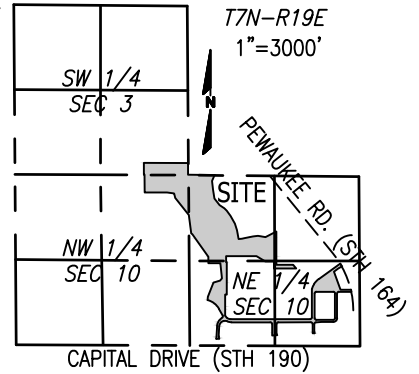
J Casucci  
raSmith  
May 28, 2026  
2268107

Owner : Meadow Creek Limited Partnership  
3190 Gateway Rd. STE 100  
Brookfield, WI 53045

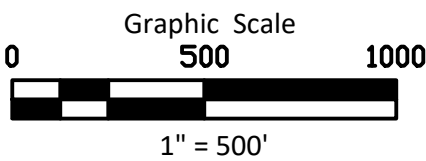
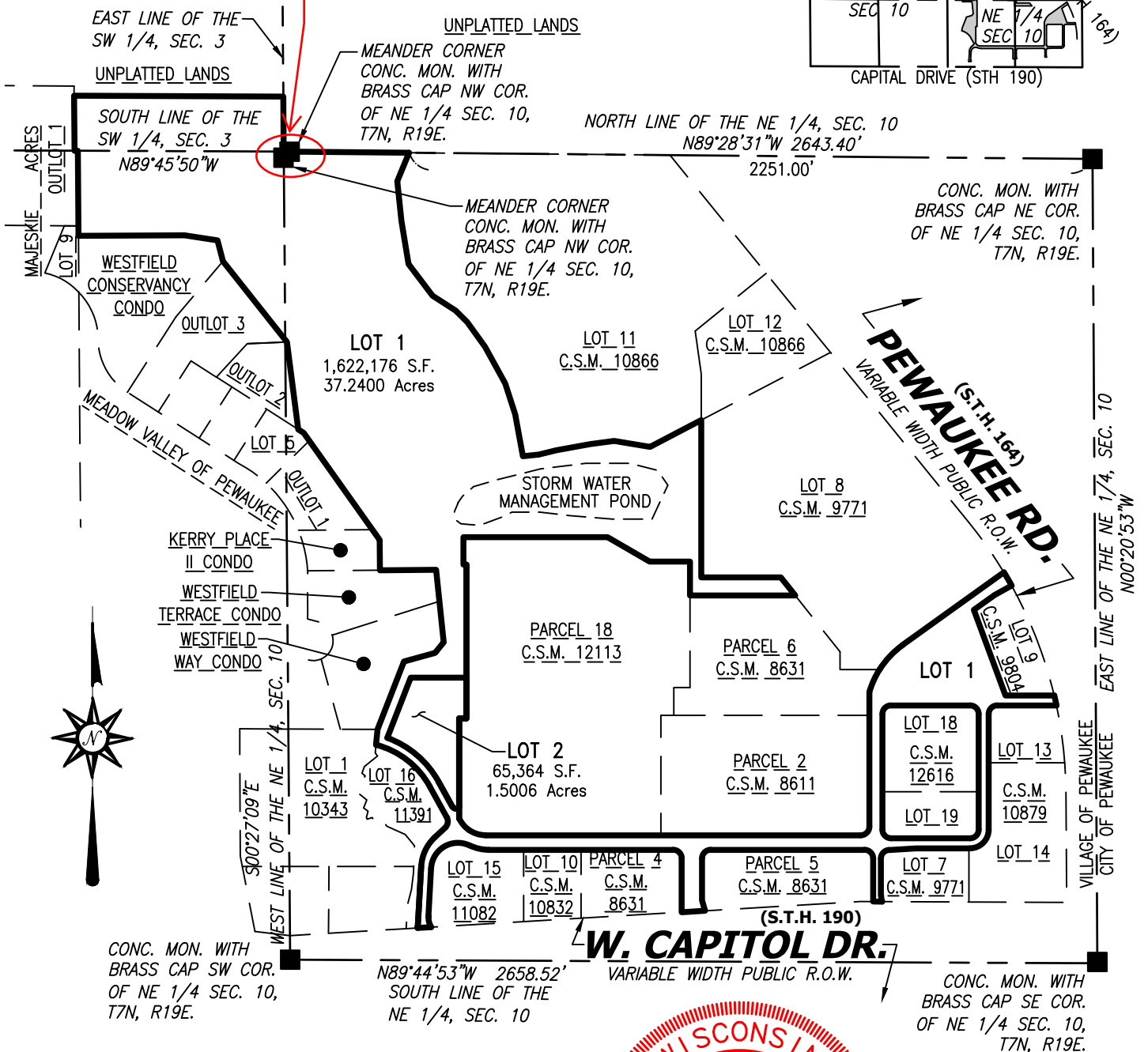
LEGEND  
■ - denotes found conc. monument

All bearings are referenced to the Wisconsin State Plane Coordinate System, South-zone (NAD83/2011) in which the East line of the NW 1/4, Sec. 16 bears N00°20'53"W.

### VICINITY MAP



Detail



# CHAPUT LAND SURVEYS

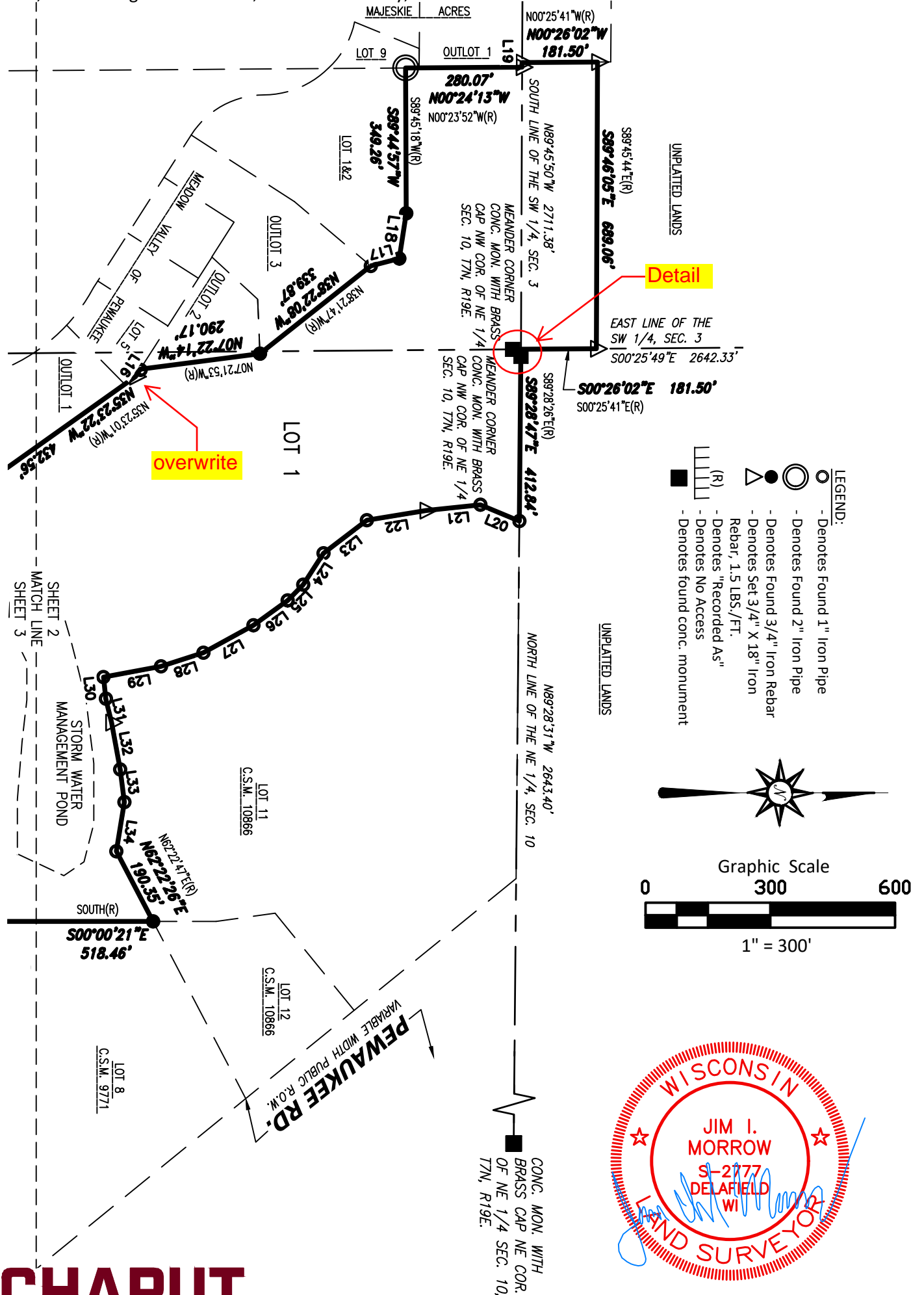
710 N. Plankinton Ave. Ste 720, Milwaukee, WI 53204  
414-224-8068 www.chaputlandsurveys.com

This instrument was drafted by Jim I. Morrow  
Professional Land Surveyor S-2777

Date: December 11, 2025  
Survey No. 6528.00-lpm  
Sheet 1 of 14 Sheets

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 17 of Certified Survey Map No. 11391, all being a part of the Southeast 1/4 of the Southwest 1/4 of Section 3, the Northeast 1/4 of the Northwest 1/4 of Section 10 and the Northwest 1/4, Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 10, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

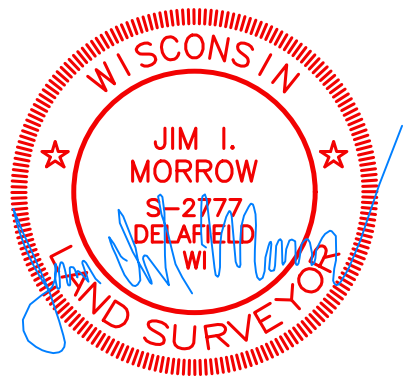


**CHAPUT**  
LAND SURVEYS

710 N. Plankinton Ave. Ste 720, Milwaukee, WI 53204  
414-224-8068 www.chaputlandsurveys.com

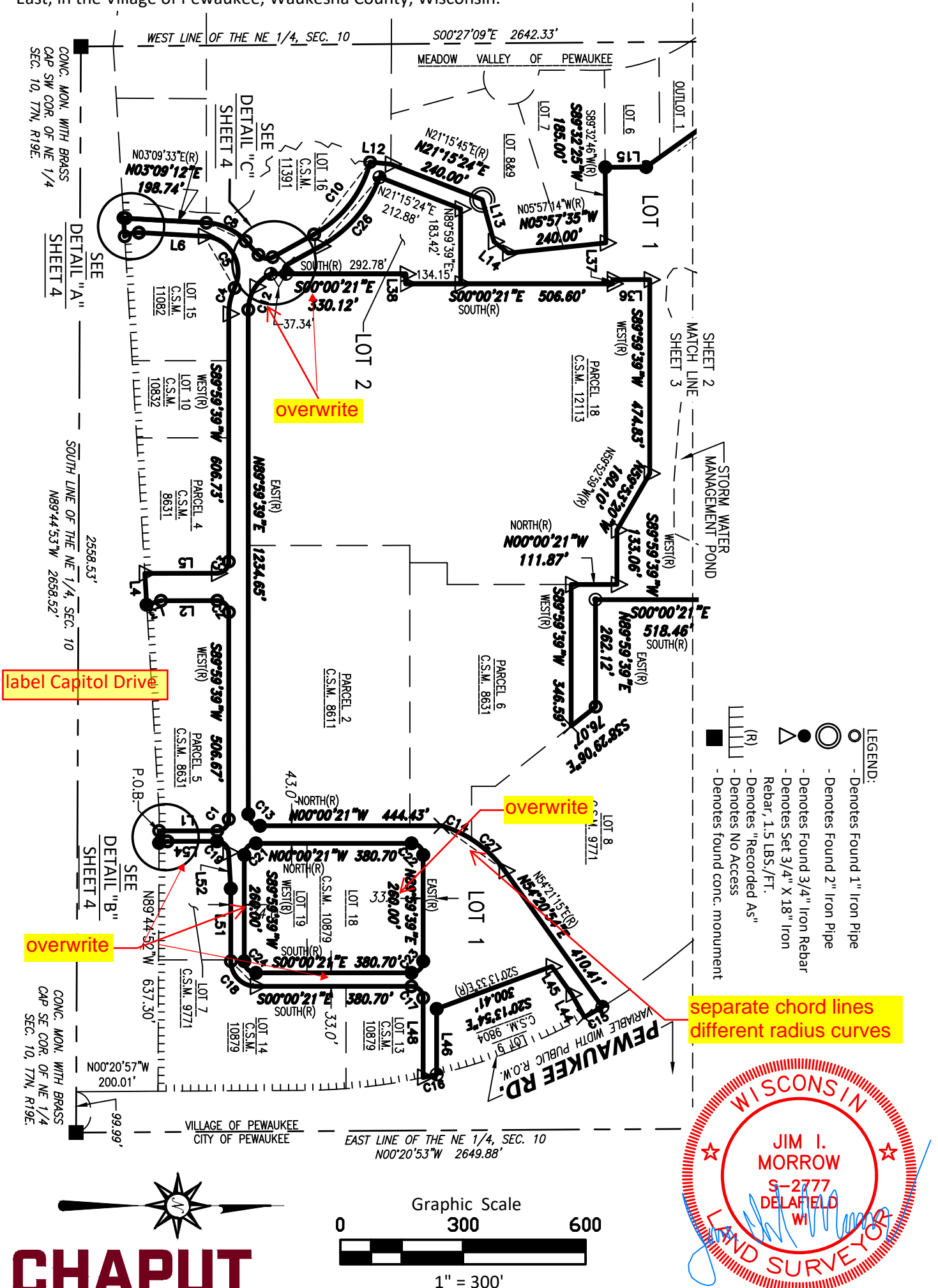
This instrument was drafted by Jim I. Morrow  
Professional Land Surveyor S-2777

Date: December 11, 2025  
Survey No. 6528.00-lpm  
Sheet 2 of 14 Sheets



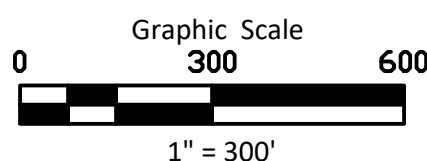
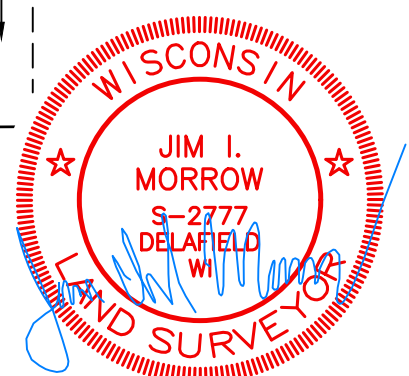
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 17 of Certified Survey Map No. 11391, all being a part of the Southeast 1/4 of the Southwest 1/4 of Section 3, the Northeast 1/4 of the Northwest 1/4 of Section 10 and the Northwest 1/4, Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 10, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.



- LEGEND:**
- - Denotes Found 1" Iron Pipe
  - - Denotes Found 2" Iron Pipe
  - - Denotes Found 3/4" Iron Rebar
  - - Denotes Set 3/4" X 18" Iron Rebar, 1.5 LBS./FT.
  - - Denotes "Recorded As"
  - (R) - Denotes No Access
  - - Denotes found conc. monument

separate chord lines  
different radius curves



**CHAPUT**  
LAND SURVEYS

710 N. Plankinton Ave. Ste 720, Milwaukee, WI 53204  
414-224-8068 www.chaputlandsurveys.com

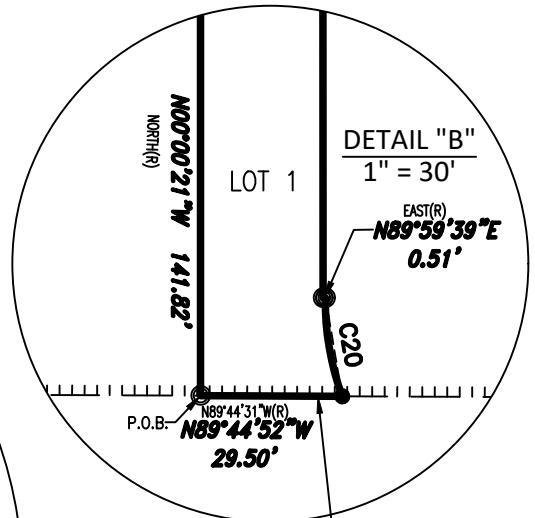
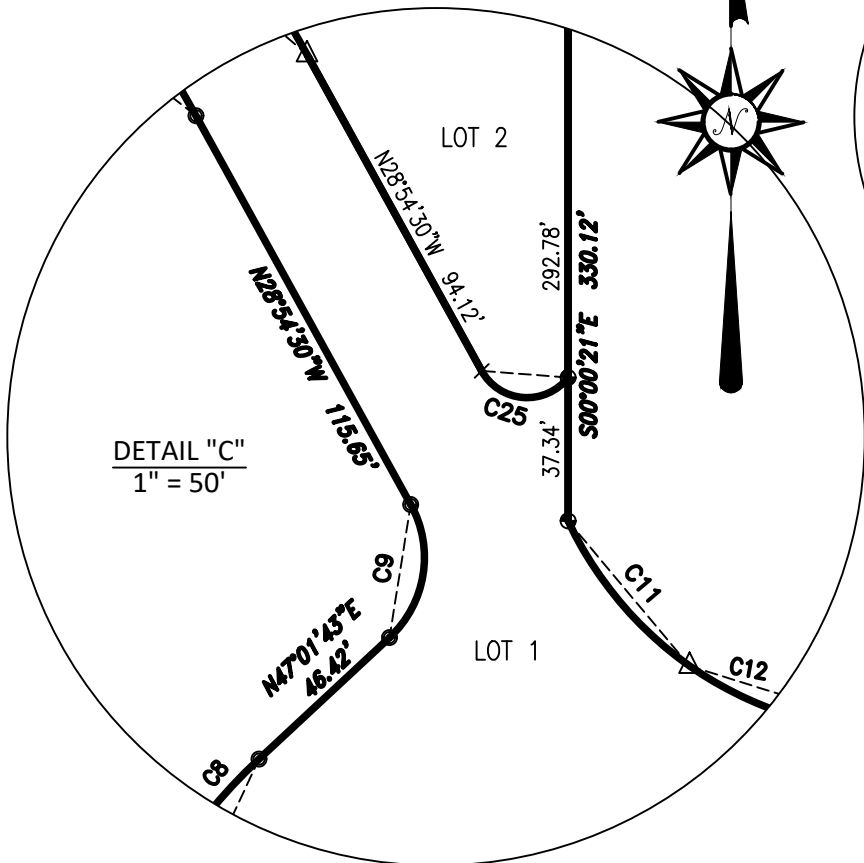
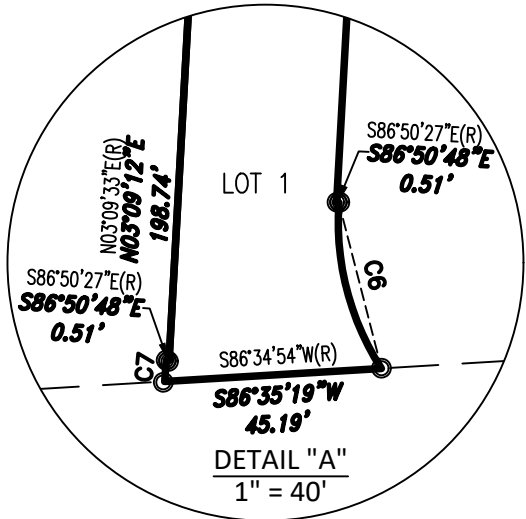
This instrument was drafted by Jim I. Morrow  
Professional Land Surveyor S-2777

Date: December 11, 2025  
Survey No. 6528.00-lpm  
Sheet 3 of 14 Sheets

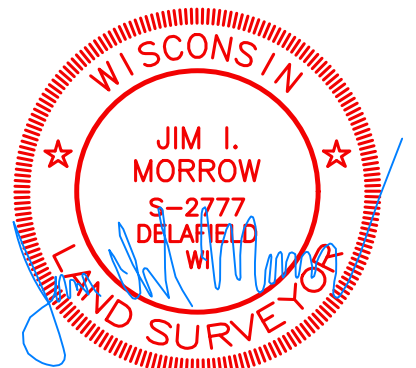
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 17 of Certified Survey Map No. 11391, all being a part of the Southeast 1/4 of the Southwest 1/4 of Section 3, the Northeast 1/4 of the Northwest 1/4 of Section 10 and the Northwest 1/4, Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 10, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

LINE TABLE			LINE TABLE			LINE TABLE		
LINE NO.	BEARING	DISTANCE	LINE NO.	BEARING	DISTANCE	LINE NO.	BEARING	DISTANCE
L1	N00°00'21"W	141.82'	L19	N89°45'57"W	11.02'	L33	N82°36'48"E	79.25'
REC. AS	NORTH		REC. AS	N89°45'44"W		REC. AS	N82°37'09"E	
L2	S00°00'21"E	137.76'	L20	S22°37'07"W	101.50'	L34	S80°43'09"E	119.59'
REC. AS	SOUTH		REC. AS	S22°37'31"W		REC. AS	S80°42'48"E	
L3	S16°11'09"E	35.82'	L21	S06°01'13"E	131.89'	L35	S38°29'06"E	76.07'
REC. AS	S16°10'48"E		REC. AS	S06°00'52"E		REC. AS	S38°28'45"E	
L4	S86°34'09"W	77.12'	L22	S09°17'45"E	143.66'	L36	S00°00'21"E	90.33'
REC. AS	S86°34'54"W		REC. AS	S09°17'24"E		REC. AS	SOUTH	
L5	N00°00'21"W	176.76'	L23	S37°18'25"E	131.11'	L37	N89°59'39"E	10.00'
REC. AS	NORTH		REC. AS	S37°18'04"E		REC. AS	EAST	
L6	S03°09'12"W	159.79'	L24	S57°10'54"E	90.02'	L38	S89°59'39"W	23.87'
REC. AS	S03°09'33"W		REC. AS	S57°10'33"E		REC. AS	WEST	
L7	S86°50'48"E	0.51'	L25	S45°23'52"E	53.32'	L44	S61°02'09"W	64.37'
REC. AS	S86°50'27"E		REC. AS	S45°23'31"E		REC. AS	S61°02'30"W	
L12	N05°31'06"E	51.06'	L26	S35°50'23"E	101.41'	L45	S54°21'01"W	83.53'
REC. AS	N05°31'27"E		REC. AS	S35°50'02"E		REC. AS	S54°21'15"W	
L13	N74°25'53"E	106.33'	L27	S28°44'52"E	137.36'	L46	N89°59'39"E	160.63'
REC. AS	N74°26'14"E		REC. AS	S28°44'31"E		REC. AS	EAST	
L14	N39°02'25"E	45.00'	L28	S17°49'07"E	106.97'	L48	S89°59'39"W	194.80'
REC. AS	N39°02'46"E		REC. AS	S17°48'46"E		REC. AS	WEST	
L15	N00°27'35"W	100.00'	L29	S10°33'01"E	140.42'	L51	S89°59'39"W	177.95'
REC. AS	N00°27'14"W		REC. AS	S10°32'40"E		REC. AS	WEST	
L16	N57°22'14"W	20.94'	L30	N84°04'58"E	52.32'	L52	S86°25'04"W	89.00'
REC. AS	N57°21'53"W		REC. AS	N84°05'19"E		REC. AS	S86°25'25"W	
L17	N14°33'21"W	70.79'	L31	N76°20'53"E	58.89'	L54	S00°00'21"E	120.97'
REC. AS	N14°33'00"W		REC. AS	N76°21'14"E		REC. AS	SOUTH	
L18	N81°15'06"W	110.00'	L32	N79°38'04"E	114.68'			
REC. AS	N81°14'45"W		REC. AS	N79°38'25"E				



NO EGRESS TO  
CAPITOL DR. PER  
C.S.M. NO. 11391



**CHAPUT**  
LAND SURVEYS

710 N. Plankinton Ave. Ste 720, Milwaukee, WI 53204  
414-224-8068 www.chaputlandsurveys.com

This instrument was drafted by Jim I. Morrow  
Professional Land Surveyor S-2777

Date: December 11, 2025  
Survey No. 6528.00-lpm  
Sheet 4 of 14 Sheets

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 17 of Certified Survey Map No. 11391, all being a part of the Southeast 1/4 of the Southwest 1/4 of Section 3, the Northeast 1/4 of the Northwest 1/4 of Section 10 and the Northwest 1/4, Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 10, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

CURVE TABLE							
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT IN	TANGENT OUT
C1 REC. AS	44.77'	28.50'	90°00'00"	N45°00'21"W N45°00'00"W	40.31'	N00°00'21"W	S89°59'39"W
C2 REC. AS	44.77'	28.50'	90°00'00"	S44°59'39"W S45°00'00"W	40.31'	S89°59'39"W	S00°00'21"E
C3 REC. AS	44.77'	28.50'	90°00'00"	N45°00'21"W N45°00'00"W	40.31'	N00°00'21"W	S89°59'39"W
C4 REC. AS	65.60' 65.61'	147.02' 146.50'	25°33'56" 25°39'29"	N77°10'37"W N77°10'15.5"W	65.06'	N89°57'35"W	N64°23'39"W
C5 REC. AS	173.77'	88.50'	112°29'59" 112°29'56"	S59°24'10"W S59°24'31"W	147.17'	N64°20'51"W	S03°09'10"W
C6 REC. AS	36.25'	56.00'	37°05'18"	S14°22'03"E S14°21'42"E	35.62'	S04°10'36"W	S32°54'42"E
C7 REC. AS	4.43' 4.44'	36.00'	07°02'48" 07°03'32"	N5°05'28"E N5°05'49"E	4.42'	N01°34'04"E	N08°36'52"E
C8 REC. AS	108.36'	141.50'	43°52'34" 43°52'31"	N25°05'27"E N25°05'48.5"E	105.73'	N03°09'10"E	N47°01'44"E
C9 REC. AS	37.78' 37.77'	28.50'	75°56'32" 75°56'14"	N9°03'37"E N9°03'58"E	35.07'	N47°01'53"E	N28°54'39"W
C10 REC. AS	230.26' 230.25'	283.50'	46°32'09" 46°32'04"	N52°10'33"W N52°10'11"W	223.98'	N28°54'29"W	N75°26'37"W
C11 REC. AS	49.80' 49.79'	97.00'	29°25'03" 29°24'43"	S39°55'27"E S39°55'05.5"E	49.26' 49.25'	S25°12'55"E	S54°37'58"E
C12 REC. AS	59.75'	98.50'	34°45'12" 34°45'29"	S72°37'45"E S72°37'15.5"E	58.83'	S55°15'09"E	N89°59'39"E
C13 REC. AS	44.77'	28.50'	90°00'00"	N44°59'39"E N45°00'00"E	40.31'	N89°59'39"E	N00°00'21"W
C14 REC. AS	80.71'	291.50'	15°51'52" 15°51'50"	N24°23'21"E N24°23'59"E	80.45'	N16°27'25"E	N32°19'17"E
C15 REC. AS	50.74'	1427.89'	02°02'10"	S30°01'47"E S30°01'26"E	50.74'	S31°02'52"E	S29°00'42"E
C16 REC. AS	33.83'	1427.89'	01°21'27"	S12°42'59"E S12°42'37.5"E	33.83'	S13°23'42"E	S12°02'15"E
C17 REC. AS	44.77'	28.50'	90°00'50" 90°00'00"	S44°59'39"W S45°00'00"W	40.31'	N89°59'56"W	S00°00'46"E
C18 REC. AS	96.59' 96.60'	61.50'	89°59'26" 90°00'00"	S44°59'30"W S45°00'00"W	86.97'	S00°00'13"E	S89°59'13"W
C19 REC. AS	42.99'	28.50'	86°25'25"	S43°12'21"W S43°12'42.5"W	39.03'	S86°25'04"W	S00°00'21"E
C20 REC. AS	20.90'	56.00'	021°22'50"	S9°40'23"E S9°40'01"E	20.78'	S01°01'02"W	S20°21'48"E
C21 REC. AS	44.77'	28.50'	090°00'00"	S45°00'21"E S45°00'00"E	40.31'	S00°00'21"E	N89°59'39"E
C22 REC. AS	44.77'	28.50'	090°00'00"	S44°59'39"W S45°00'00"E	40.31'	S89°59'39"W	S00°00'21"E
C23 REC. AS	44.77'	28.50'	090°00'00"	N45°00'21"W N45°00'00"W	40.31'	N00°00'21"W	S89°59'39"W
C24 REC. AS	44.77'	28.50'	090°00'00"	N44°59'39"E S45°00'00"E	40.31'	N89°59'39"E	N00°00'21"W
C25	26.72'	13.50'	113°24'41"	N85°37'07"W	22.57'	S37°40'32"W	N28°54'47"W
C26	226.95'	316.50'	41°05'06"	N49°27'02"W	222.12'	N28°54'29"W	N69°59'35"W
C27	112.05'	291.99'	21°59'11"	N43°20'20"E	111.36'	N32°20'45"E	N54°19'56"W



**CHAPUT**  
LAND SURVEYS

710 N. Plankinton Ave. Ste 720, Milwaukee, WI 53204  
414-224-8068 www.chaputlandsurveys.com

This instrument was drafted by Jim I. Morrow  
Professional Land Surveyor S-2777

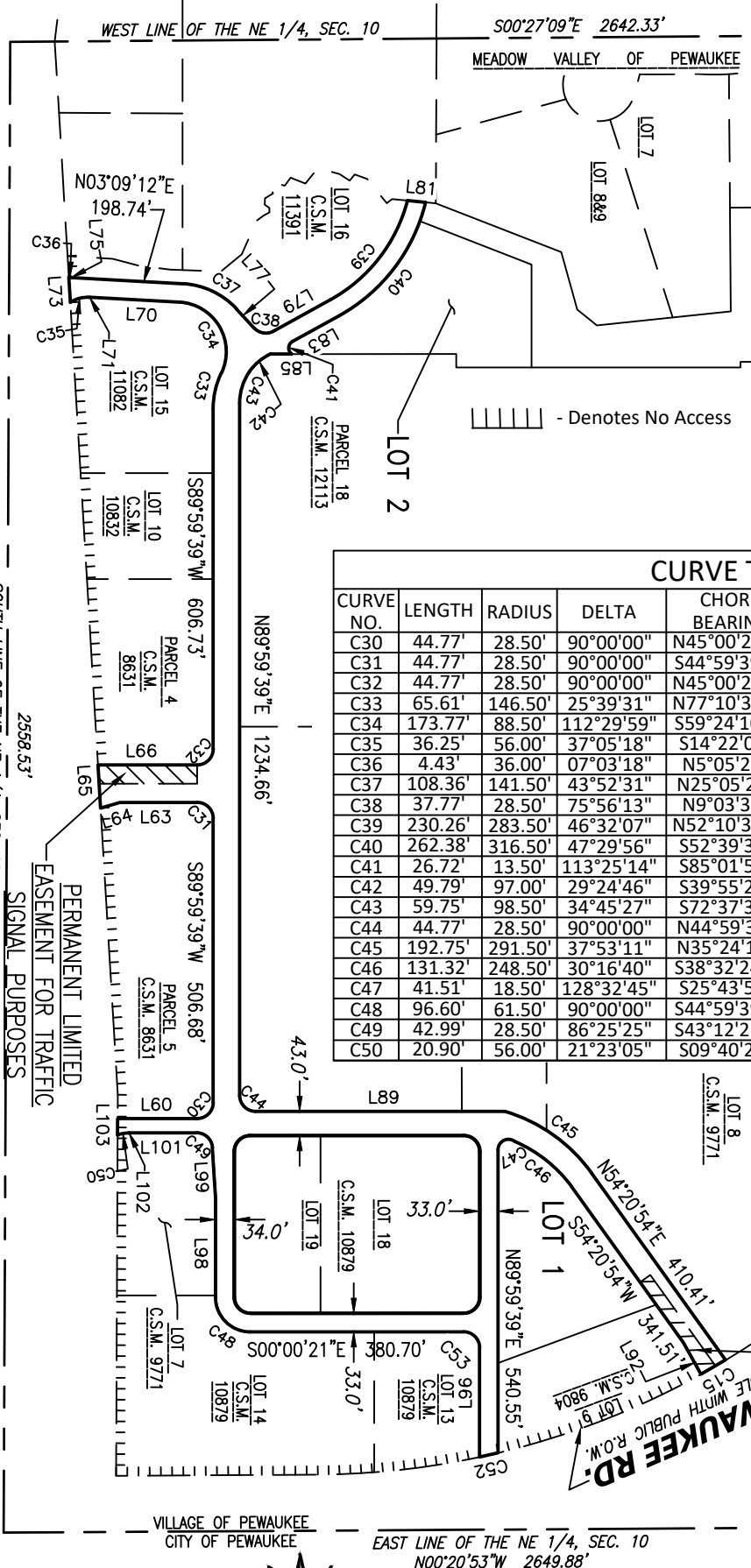
Date: December 11, 2025  
Survey No. 6528.00-lpm  
Sheet 5 of 14 Sheets

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 17 of Certified Survey Map No. 11391, all being a part of the Southeast 1/4 of the Southwest 1/4 of Section 3, the Northeast 1/4 of the Northwest 1/4 of Section 10 and the Northwest 1/4, Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 10, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

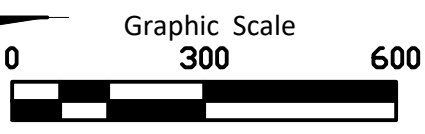
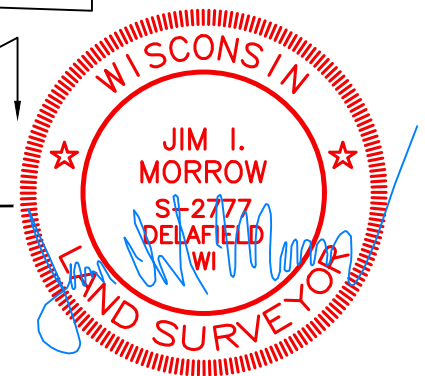
## INGRESS/EGRESS & TRAFFIC SIGNAL EASEMENT DETAIL

LINE NO.	BEARING	DISTANCE
L60	N00°00'21"W	141.82'
L63	S00°00'21"E	137.76'
L64	S16°11'09"E	35.82'
L65	S86°34'33"W	77.12'
L66	N00°00'21"W	176.76'
L70	S03°09'12"W	159.79'
L71	S86°50'48"E	0.51'
L73	S86°34'33"W	45.19'
L75	N86°50'06"E	0.51'
L77	N47°01'43"E	46.42'
L79	N28°54'30"W	115.65'
L81	N05°31'06"E	32.46'
L83	S28°54'30"E	93.91'
L85	S00°00'21"E	37.34'
L89	N00°00'21"W	444.43'
L91	S30°01'47"E	50.74'
L92	S61°02'09"W	64.37'
L95	S12°42'58"E	33.83'
L96	S89°59'39"W	194.80'
L98	S89°59'39"W	177.95'
L99	S86°25'04"W	88.88'
L101	S00°00'21"E	120.07'
L102	N89°59'39"E	0.51'
L103	N89°44'52"W	29.50'



## CURVE TABLE

CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT IN	TANGENT OUT
C30	44.77'	28.50'	90°00'00"	N45°00'21"W	40.31'	N00°00'21"W	S89°59'39"W
C31	44.77'	28.50'	90°00'00"	S44°59'39"W	40.31'	S89°59'39"W	S00°00'21"E
C32	44.77'	28.50'	90°00'00"	N45°00'21"W	40.31'	N00°00'21"W	S89°59'39"W
C33	65.61'	146.50'	25°39'31"	N77°10'36"W	65.06'	S89°59'38"W	N64°20'51"W
C34	173.77'	88.50'	112°29'59"	S59°24'10"W	147.17'	N64°20'51"W	S03°09'10"W
C35	36.25'	56.00'	37°05'18"	S14°22'03"E	35.62'	S04°10'36"W	S32°54'42"E
C36	4.43'	36.00'	07°03'18"	N5°05'28"E	4.43'	N08°37'07"E	N01°33'49"E
C37	108.36'	141.50'	43°52'31"	N25°05'27"E	105.73'	N03°09'12"E	N47°01'43"E
C38	37.77'	28.50'	75°56'13"	N9°03'37"E	35.07'	N47°01'43"E	N28°54'30"W
C39	230.26'	283.50'	46°32'07"	N52°10'32"W	223.98'	N28°54'29"W	N75°26'36"W
C40	262.38'	316.50'	47°29'56"	S52°39'37"E	254.93'	S76°24'35"E	S28°54'39"E
C41	26.72'	13.50'	113°25'14"	S85°01'50"E	22.57'	S28°19'13"E	N38°15'33"E
C42	49.79'	97.00'	29°24'46"	S39°55'26"E	49.25'	S25°13'03"E	S54°37'49"E
C43	59.75'	98.50'	34°45'27"	S72°37'38"E	58.84'	S55°14'54"E	N89°59'39"E
C44	44.77'	28.50'	90°00'00"	N44°59'39"E	40.31'	N89°59'39"E	N00°00'21"W
C45	192.75'	291.50'	37°53'11"	N35°24'18"E	189.26'	N16°27'42"E	N54°20'53"E
C46	131.32'	248.50'	30°16'40"	S38°32'24"W	129.80'	S53°40'44"W	S23°24'04"W
C47	41.51'	18.50'	128°32'45"	S25°43'59"E	33.33'	S38°32'24"W	N89°59'39"E
C48	96.60'	61.50'	90°00'00"	S44°59'39"W	86.97'	S00°00'21"E	S89°59'39"W
C49	42.99'	28.50'	86°25'25"	S43°12'21"W	39.03'	S86°25'04"W	S00°00'21"E
C50	20.90'	56.00'	21°23'05"	S09°40'22"E	20.78'	S86°25'04"W	S00°00'21"E



**CHAPUT**  
LAND SURVEYS

710 N. Plankinton Ave. Ste 720, Milwaukee, WI 53204  
414-224-8068 www.chaputlandsurveys.com

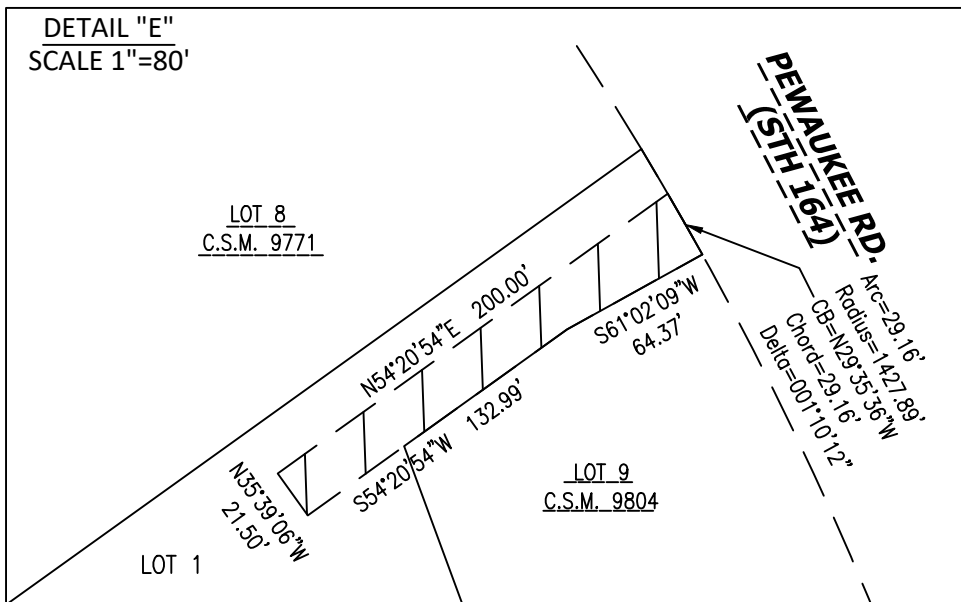
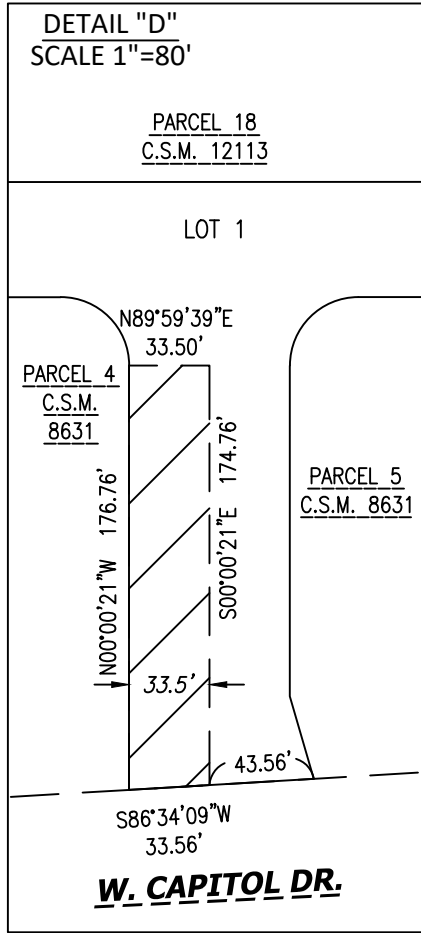
This instrument was drafted by Jim I. Morrow  
Professional Land Surveyor S-2777

Date: December 11, 2025  
Survey No. 6528.00-lpm  
Sheet 6 of 14 Sheets

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 17 of Certified Survey Map No. 11391, all being a part of the Southeast 1/4 of the Southwest 1/4 of Section 3, the Northeast 1/4 of the Northwest 1/4 of Section 10 and the Northwest 1/4, Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 10, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

PERMANENT LIMITED TRAFFIC SIGNAL EASEMENTS DETAIL  
SHOWN FOR REFERENCE ONLY



**CHAPUT**  
**LAND SURVEYS**

710 N. Plankinton Ave. Ste 720, Milwaukee, WI 53204  
414-224-8068 www.chaputlandsurveys.com

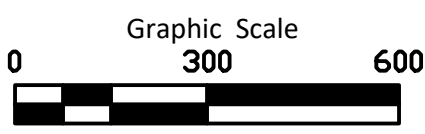
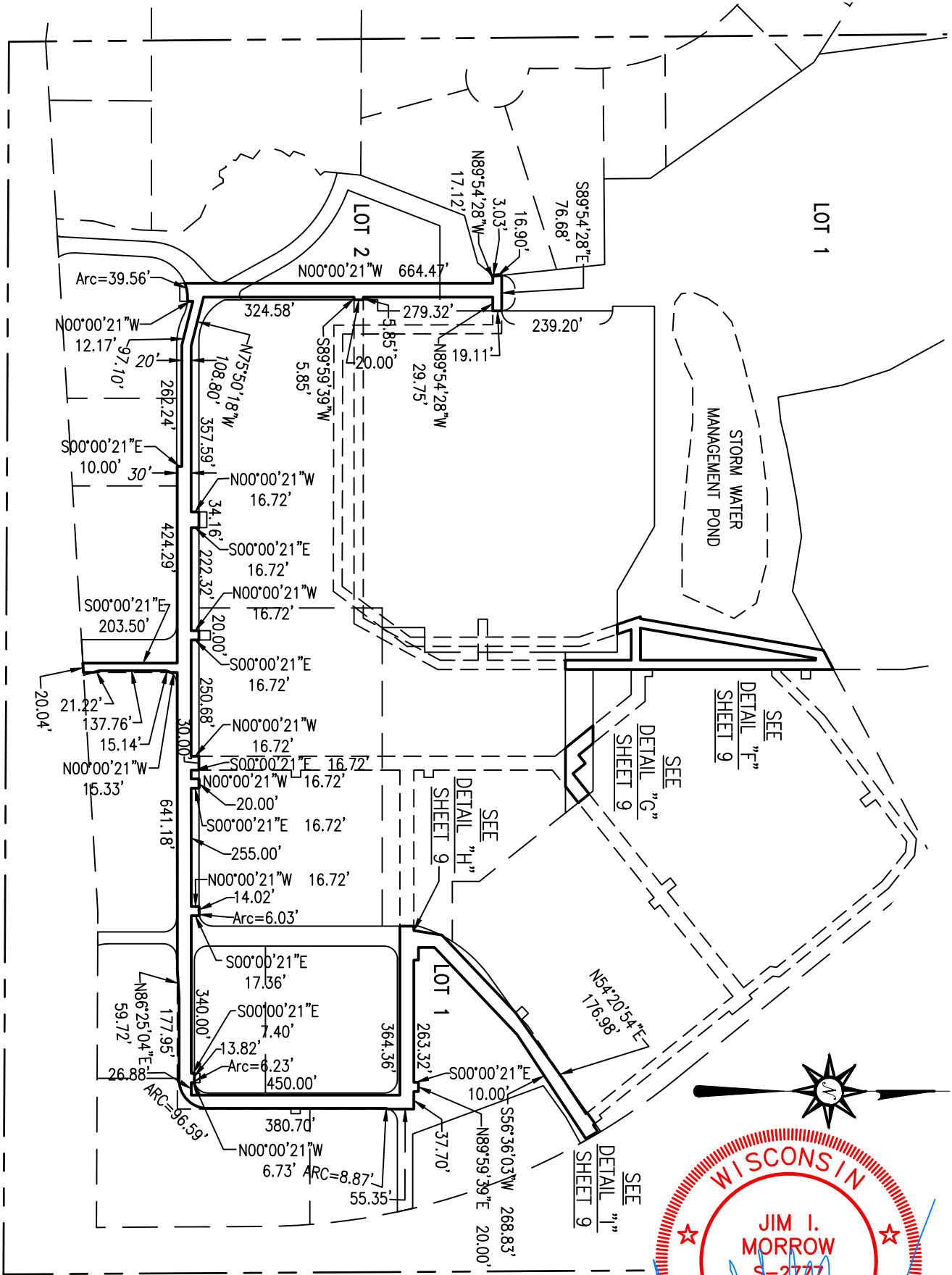
This instrument was drafted by Jim I. Morrow  
Professional Land Surveyor S-2777

Date: December 11, 2025  
Survey No. 6528.00-lpm  
Sheet 7 of 14 Sheets

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 17 of Certified Survey Map No. 11391, all being a part of the Southeast 1/4 of the Southwest 1/4 of Section 3, the Northeast 1/4 of the Northwest 1/4 of Section 10 and the Northwest 1/4, Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 10, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

## WATER MAIN AND SANITARY SEWER EASEMENTS SHOWN FOR REFERENCE ONLY



**CHAPUT**  
**LAND SURVEYS**

710 N. Plankinton Ave. Ste 720, Milwaukee, WI 53204  
414-224-8068 www.chaputlandsurveys.com

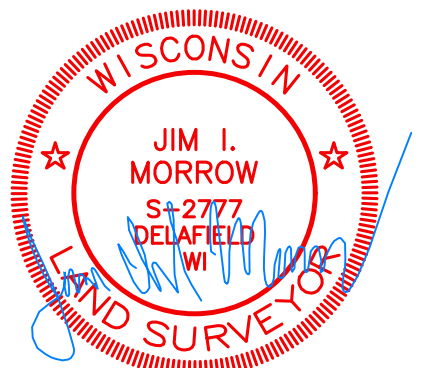
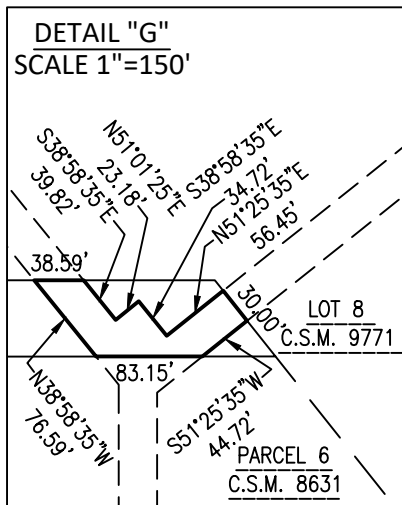
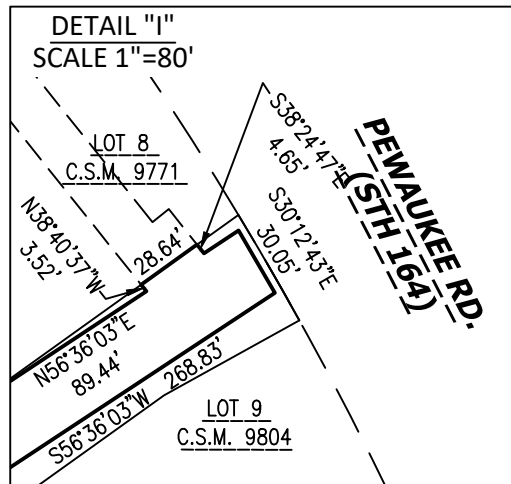
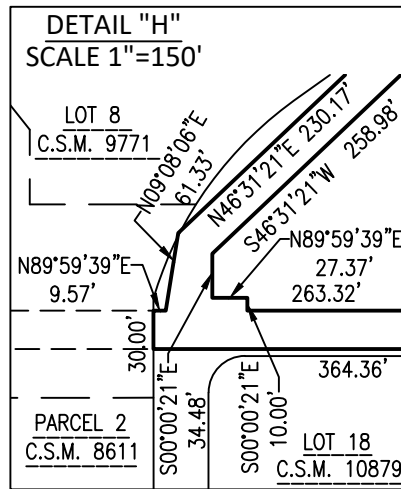
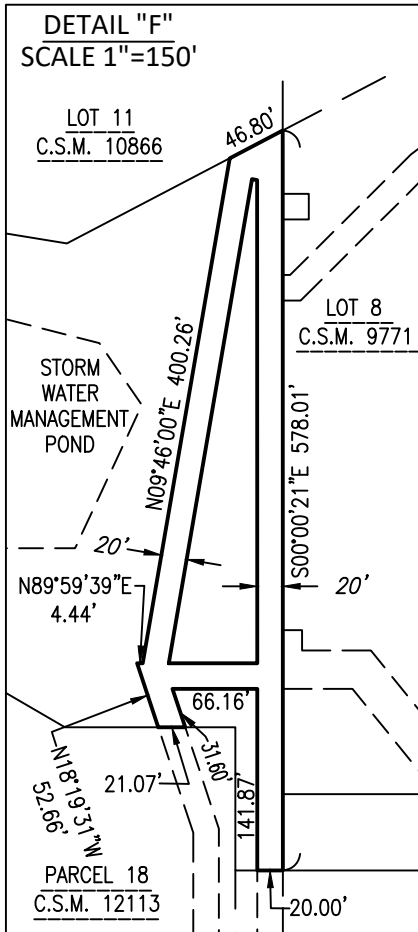
This instrument was drafted by Jim I. Morrow  
Professional Land Surveyor S-2777

Date: December 11, 2025  
Survey No. 6528.00-lpm  
Sheet 8 of 14 Sheets

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 17 of Certified Survey Map No. 11391, all being a part of the Southeast 1/4 of the Southwest 1/4 of Section 3, the Northeast 1/4 of the Northwest 1/4 of Section 10 and the Northwest 1/4, Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 10, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

## WATER MAIN AND SANITARY SEWER EASEMENTS DETAIL SHOWN FOR REFERENCE ONLY



**CHAPUT**  
LAND SURVEYS

710 N. Plankinton Ave. Ste 720, Milwaukee, WI 53204  
414-224-8068 www.chaputlandsurveys.com

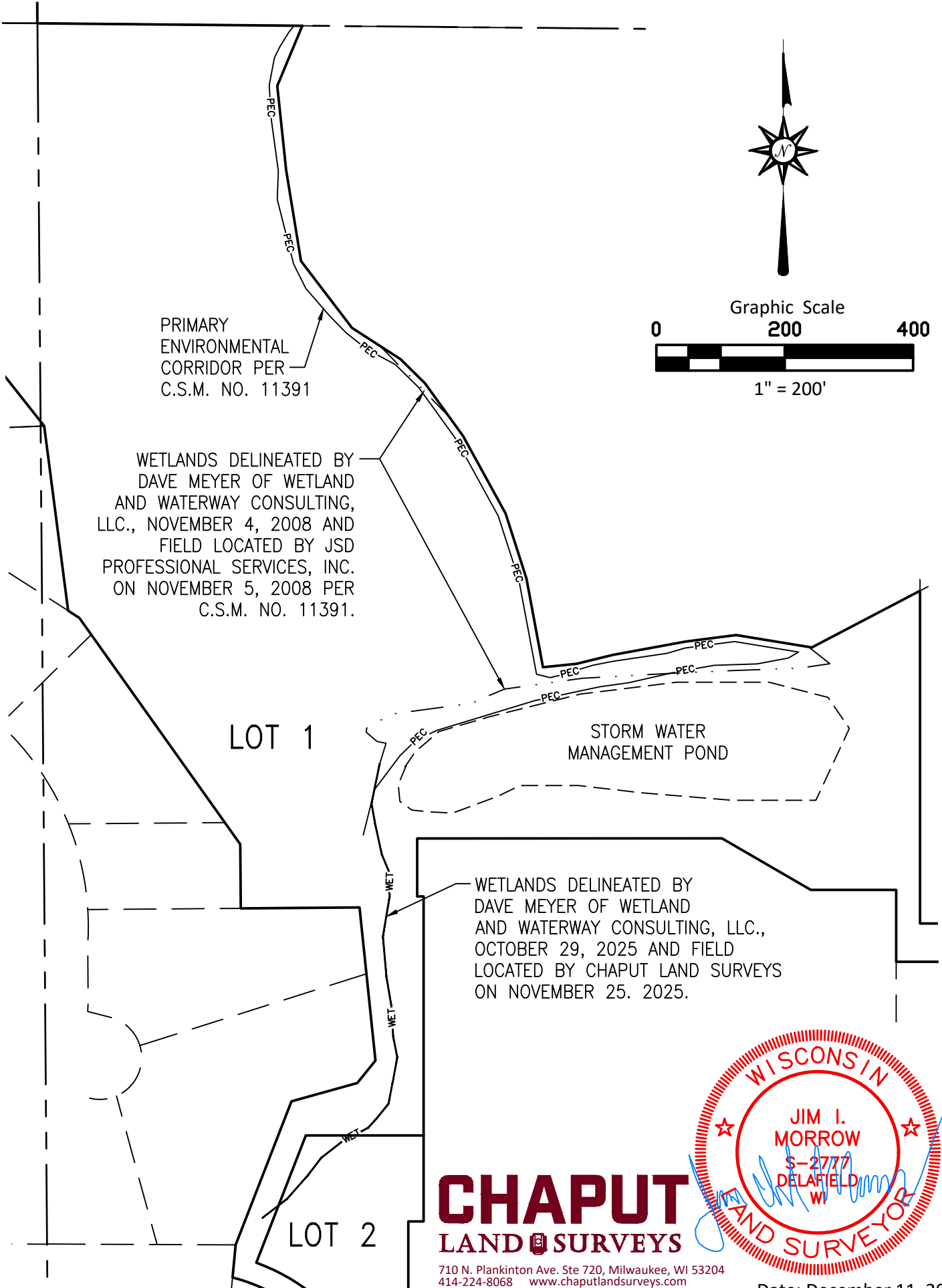
This instrument was drafted by Jim I. Morrow  
Professional Land Surveyor S-2777

Date: December 11, 2025  
Survey No. 6528.00-lpm  
Sheet 9 of 14 Sheets

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 17 of Certified Survey Map No. 11391, all being a part of the Southeast 1/4 of the Southwest 1/4 of Section 3, the Northeast 1/4 of the Northwest 1/4 of Section 10 and the Northwest 1/4, Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 10, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

## WETLAND BOUNDARY AND PRIMARY ENVIRONMENTAL CORRIDOR



This instrument was drafted by Jim I. Morrow  
Professional Land Surveyor S-2777

Date: December 11, 2025  
Survey No. 6528.00-lpm  
Sheet 10 of 14 Sheets



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 17 of Certified Survey Map No. 11391, all being a part of the Southeast 1/4 of the Southwest 1/4 of Section 3, the Northeast 1/4 of the Northwest 1/4 of Section 10 and the Northwest 1/4, Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 10, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

ENTITY OWNER'S CERTIFICATE

Are any lands or easements being dedicated?

Meadow Creek Limited Partnership, a Wisconsin limited partnership duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, certifies that said Limited Partnership caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on this map in accordance with the requirements of Chapter 236 of the Wisconsin Statutes of Ordinances.

In Witness whereof, the said Meadow Creek Limited Partnership, has caused these presents to be executed by \_\_\_\_\_, its \_\_\_\_\_ by \_\_\_\_\_ (name) its \_\_\_\_\_ (title), at \_\_\_\_\_, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Meadow Creek Limited Partnership:  
3190 Gateway Road  
Brookfield, WI 53045

Signature: \_\_\_\_\_

Type or Print Name: James G. Forester, Vice-President of Cirrus, Inc.

Title: General Partner

STATE OF \_\_\_\_\_ }  
  } :SS  
\_\_\_\_\_ COUNTY }

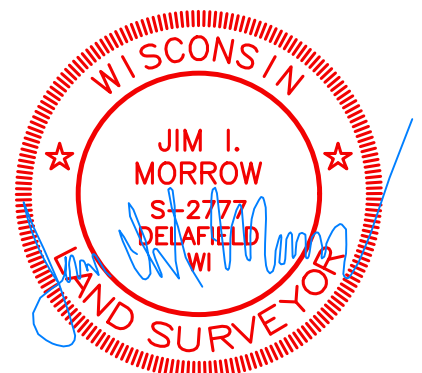
Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_, \_\_\_\_\_, the \_\_\_\_\_ of the above named entity, to me known to be the persons who executed the foregoing instrument, and acknowledged that he/she executed the foregoing instrument as such officer on behalf of the entity, by its authority.

Notary Signature: \_\_\_\_\_

Print Notary Name: \_\_\_\_\_

Notary Public, State of Wisconsin. My commission expires: \_\_\_\_\_

(Notary Seal)



710 N. Plankinton Ave. Ste 720, Milwaukee, WI 53204  
414-224-8068 www.chaputlandsurveys.com

This instrument was drafted by Jim I. Morrow  
Professional Land Surveyor S-2777

Date: November 20, 2025  
Survey No. 6528.00-lpm  
Sheet 12 of 14 Sheets

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 17 of Certified Survey Map No. 11391, all being a part of the Southeast 1/4 of the Southwest 1/4 of Section 3, the Northeast 1/4 of the Northwest 1/4 of Section 10 and the Northwest 1/4, Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 10, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

CONSENT OF ENTITY MORTGAGEE

\_\_\_\_\_, \_\_\_\_\_, duly organized and existing under and by virtue of the laws of the State of \_\_\_\_\_, as mortgagee of the above described land, consents to the surveying, dividing and mapping of the land described on this map and in the surveyor's certificate, and to the certificate of the owner of said land.

Date: \_\_\_\_\_

Entity Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Type or Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

STATE OF \_\_\_\_\_ }  
  } :SS  
\_\_\_\_\_ COUNTY }

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, \_\_\_\_\_ of the above named entity, to me known to be the person who executed the foregoing instrument, and acknowledged that he/she executed the foregoing instrument as such officer on behalf of the entity, by its authority.

Notary Signature: \_\_\_\_\_

Print Notary Name: \_\_\_\_\_

Notary Public, State of \_\_\_\_\_ . My commission expires: \_\_\_\_\_

(Notary Seal)



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a redivision of Lot 17 of Certified Survey Map No. 11391, all being a part of the Southeast 1/4 of the Southwest 1/4 of Section 3, the Northeast 1/4 of the Northwest 1/4 of Section 10 and the Northwest 1/4, Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4 of Section 10, Township 7 North, Range 19 East, in the Village of Pewaukee, Waukesha County, Wisconsin.

PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the Village of Pewaukee on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Jeff Knutson, Village President

\_\_\_\_\_  
Date

\_\_\_\_\_  
Jenna Peter, Village Clerk

VILLAGE BOARD CERTIFICATE APPROVAL

RESOLVED that the above Certified Survey Map which has been filed for approval, be and is hereby approved as required by the Village Subdivision Regulations and Chapter 236 of the Wisconsin State Statutes related to Certified Survey Maps.

I HEREBY

\_\_\_\_\_  
Date

\_\_\_\_\_  
Jeff Knutson, Village President

\_\_\_\_\_  
Date

\_\_\_\_\_  
Jenna Peter, Village Clerk



TO: Village of Pewaukee Plan Commission  
CC: Matt Heiser – Village Administrator, Mackenzie Quigley - Clerk  
FROM: Mark Lyons, Village Planning Consultant  
RPT DATE: June 4, 2026  
MTG DATE: June 11, 2026  
RE: 5b – BPO Johnson Financial Group

**BACKGROUND:**

1. Petitioner: Johnson Financial Group
2. Property Owner: Johnson Financial Group
3. Location/Address: 1194 Capitol Drive
4. Tax Key Number: PWV 0903099
5. Area: 1.59 AC
6. Existing Zoning: B-1 Community Business
7. Proposed Zoning: N/A
8. Future Land Use: Community Commercial
9. Proposed Future Land Use: N/A

**OVERVIEW:**

The Petitioners are requesting approval of a business site plan for constructing a 3,116 square foot financial institution and ancillary uses on an existing 1.59-acre lot, currently zoned as B-1, Community Business District. The site contains existing buildings and improvements which would be removed as part of the redevelopment. The building was previously used as a gas station / convenience store.

**SUBMITTAL:**

The enclosed submittal includes the Applications, Site Plan, (and associated landscaping, lighting, stormwater, infrastructure plans).

**PLANNER COMMENTS:**

1. **Site Plan.** The site plan shows a 3,116 gross single story financial institution building in the center of the property, with the associated parking lot on the site and drive-thru facilities on the western side of the building. The application indicates up to eight (8) employees. With hours of operation Monday – Friday 8:30am-5:00pm.
2. **Zoning Requirements:** The proposed financial institution use is a permitted use in the B-1 District per section 40.248(4) of the village code.
  - a. The proposed lot size of just over 1.5 acre is within the code requirements.
  - b. There is a 65% maximum impervious area requirement, and this proposal comes in at 65.2%. The applicant will have to make minor modification to meet the ordinance requirements.
  - c. There is a building height maximum of 4 stories or 55 feet in height and the proposed building is one story and 22 feet & 4 inches to the top of roof.

- d. There is a building setback minimum of 50 feet from the right of way in the B-1 district. The subject parcel has right of way setbacks requirements on the south, east and north sides. The primary structure satisfies the setback requirements. Code additionally requires a side and rear offset of 20' for primary structure and 10' for accessory structures. The proposed drive thru canopy is classified as an accessory structure and meets the code required offset.
- e. There are 22 onsite parking spaces proposed, with two ADA accessible parking spaces shown, with one on each side of the building. Code requires one (1) space per 300 gross sq. ft. of area and one (1) per employee for a total of 19 required stalls.

3. **Site Improvements:**

- a. **Uses and activities:** The improvements will include a new building and associated access drive, parking lot, drive-thru canopy and landscaping plantings.
- b. **Site:** The proposed changes include development of an approximately 3,116 sq. ft. building in the center, associated parking lot and access drive on the north and south sides, and drive-thru facility on the west side.
- c. **Design Requirements:** There are no extra general design requirements for uses/structures as B-1 District has a set of "General Requirements" for uses/structures in the B-1 zoning codes. Section 40.447 pertains to other architectural requirements.

Section 40.447 states:

*(2) Building rooflines and roof shapes. The visual continuity of roofs and their contributing elements (parapet walls, gables, coping, cornices, etc.) shall be maintained in building development or redevelopment. Heating, ventilation, air conditioning and other rooftop mechanical equipment must be appropriately screened from view.*

*(3) Materials. New retail and office building construction shall consist of quality materials such as brick, wood, stone and glass.*

The proposed building will be of primarily brick, stone, glass and faux wood. Grey brick makes up the majority of the architecture with additions of stone, glass and other accent materials. The structure includes a flat roof.

Staff finds these items meet the criteria and standards of the Village of Pewaukee, subject to the review and recommendation of the Planning Commission.

- d. **Traffic, Circulation and Access:** Access to the site will be on the east side of the lot from Forest Grove Drive. A single access drive is proposed as a 24' wide two-way traffic access drive.
- e. **Landscaping:**

Planting of trees for new development is proposed. Section 40.445 requires: *(a) Street trees. The developer shall provide for the planting or retention of street trees on both sides of all new roadways and, where deemed appropriate by the plan commission for aesthetic purposes, along existing roadways adjacent to the development. Such trees shall have an average trunk dimension of 2.5 inches at a point one foot above the grade. To ensure proper planting and growth, the trees shall be balled, burlapped and staked. Such trees shall be provided at a rate of not less than one tree every 40 feet of new roadway frontage and located within the road right-of-way at a point ten feet from the right-of-way line unless otherwise required by the plan commission. The species of trees shall be subject to plan commission approval.*

The applicant plan set does not include the required street planting along Capitol Drive. They will need to be added to meet the ordinance requirements.

Landscaping of the interior parking lot and property is proposed. Section 40.445 requires: *(b) Parking lot landscaping. Off-street parking lots with more than ten stalls shall have at least ten percent of the interior parking area landscaped. The species of landscape plantings are subject to plan commission approval.*

The proposed landscaping plan does not appear to include any landscaping islands or areas that would meet this section of the ordinance. The landscaping plan will need to be modified to meet this requirements.

Screening of the parking surface area is proposed. Section 40.445 requires: *(2) A compact landscaping hedgerow or landscaped undulating berm shall be located between parking areas and public roads. Hedges shall be planted at an initial height of two feet and shall be maintained so as to form a continuous, unbroken, solid, visual screen within a maximum of one year after time of planting. This landscaping buffer is intended to screen the view of parked cars and asphalt from pedestrian and motorist view.*

Again, no hedgerow parking row landscaping is included and therefore the landscaping plan will need to be updated to meet the ordinance requirements.

- f. **Exterior Lighting:** New lighting is proposed by the applicant to be downward facing, both servicing the parking lot area and along the building exterior. Section 40.448 governs the lighting standards. Of the standards, no lighting fixture pole shall exceed 25 feet in height.

The applicant has supplied plans that show poles utilized in the parking lot. The poles indicate a mounting height of 23' which complies with the ordinances 25' maximum height. The applicant has also supplied a photometric plan noting the foot candles measured on adjoining roadways, and minimal lighting going onto adjacent properties and complies with the ordinance requirements.

Hours of operations for the lighting notes that: *Hours of operation. All outdoor light fixtures presently or hereafter installed and maintained upon private property within commercial, institutional, industrial or multifamily zones shall be turned off from close of business to sunrise with the following exceptions:*

- a. *Commercial, industrial and institutional uses which remain open and operational after 11:00 p.m. shall be allowed to keep their approved outdoor lighting on for the period of time they remain open and up to one-half hour after closing.*  
b. *Approved security lighting shall be allowed after 11:00 p.m.*

*No information was supplied by the applicant on hours of operation of lighting, and staff will note the Planning Commission will need to weigh in on how they'd like to see lighting standards handled on this property, and to be of similar decisions as made for adjacent properties in the area of this proposal.*

- g. **Signage:** The applicant has included a full sign package as part of the request.

Free standing – (1) 10' tall monument sign, 40 sq. ft. in size. Meets ordinance requirements.

Wall Sigs- (2) wall signs. One at 29 sq. ft. and one at 25 sq. f.t. The ordinance only allows 1 wall sign per building unless a secondary customer entrance is provided. The applicant will need to revise the wall sign plans to meet the ordinance requirements.

- h. **Engineering Plans (Storm/Grading/Utilities):** Engineering plans were supplied and reviewed by the Village Engineer. That report is attached as part of this report.

**Department of Public Works Comments:**

Village Department of public works has also reviewed the proposed plans, and comments have been included below.

1. Provide post construction televising video showing Sanitary sewer lateral from building to the main. The lateral needs to be reviewed for structural integrity and potential infiltration. The Village staff or designated representative will review the sewer lateral video and check if the lateral condition is adequate or needs rehabilitation. If the work cannot be completed prior to issuance of permit or occupancy, then posting a \$5,000 financial guarantee is acceptable to allow applicant to proceed. This includes costs for televising and potential work on sewer lateral. The phone number for the Sewer Dept. is 262-200-7506.
2. If reusing existing water service, schedule and conduct appointment with the Water Utility Department staff to identify the water service pipe material prior to issuance of permit. If service material is lead, the Applicant will be required to replace the water service from building to the curb stop. The phone number for the Water Utility is 262-200-7506.
3. Install public concrete sidewalk along Forest Grove Drive from Capitol Drive existing sidewalk to Quail Ct and along Quail Ct. from Forest Grove Dr. to west lot line. Show on site and grading plan.
4. Add sample tap to use for water sampling in utility room.
5. Obtain erosion control permit and install erosion controls prior to demoing building.
6. On Landscape Plan, one tree proposed to be removed is located on adjoining parcel. Please confirm with adjacent owner if ok to remove.
7. A drive approach is shown to be removed along Quail Ct. and Forest Grove Dr. A note on Forest Grove Dr. states a portion of existing curb and gutter to remain. Depending on condition of curb and gutter, the curb and gutter may or may be able to be reused. Add note: Village Inspector to mark removal limits for curb and gutter removal and replacement. Follow Village specifications and obtain right of way permit and driveway permit.
8. Prepare ALTA Survey for property.
9. The existing monument sign is shown to be removed. Prepare document to release the existing agreement for monument sign with Village to be submitted for review, approval, and recording prior to issuance of building permit.
10. A financial guarantee should be submitted for work in public right of way.
12. New water service should connect from Quinlan Ct.
13. Old water service should be abandoned at main. Add note: Abandon water service at main per Village specifications. Use abandonment sleeve.
14. For sanitary sewer lateral, add note to provide water tight connection to manhole.
15. Utilize Village template for storm water maintenance agreement. Template can be emailed to Engineer. Agreement to be submitted, reviewed, approved and recorded prior to approval of building permit.

**STAFF RECOMMENDATION:**

Depending on confirmation by the Village of Pewaukee Plan Commission of the above-described comments, the Village of Pewaukee Plan Commission may take the following actions listed below.

### **SITE PLAN AND PLAN OF OPERATIONS**

The Village of Pewaukee Plan Commission **Approves** the Site Plan for a new financial institution, associated parking lot, accessory structures, landscaping and access drive for the property located at PWV 0903099, subject to the following conditions:

1. That all conditions made by the Plan Commission at their meeting of June 11, 2026 pertaining to architecture, site design, landscaping, lighting, grading, parking, or other, are met.
2. Hours of operation shall be Monday-Friday 8:30am-5:00pm.
3. Applicant shall reduce the total impervious area on site to meet the 65% maximum allowed.
4. Landscaping and sign plans shall be updated to meet all code requirements and resubmitted to the Village Planner for final review and approval.
5. Landscaping is required to be replaced upon any plants not surviving.
6. This Site Plan/Plan of Operation approval is subject to the Petitioner complying at all times with the plans and documents presented to the Village of Pewaukee Plan Commission. The existing site plan/plan of operation shall remain in effect, except as further restricted or modified herein.
7. The Petitioner shall satisfy all comments, conditions, and concerns of the Village of Pewaukee Plan Commission and Board, Village Engineer and Village Planner for the site plan, and other documentation.
8. Building Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village Building Inspector (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village Building Inspector, if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of structural integrity or safety of any structure on the property, or as proof of compliance with any particular construction standard that would apply to new construction. The petitioner shall independently determine the suitability of all structures on the property for the petitioner's intended uses.
9. Fire Inspection. The Petitioner and/or Property Owner shall comply with any and all recommendations by the Village of Pewaukee Fire Department Chief (or designee) prior to the issuance of an occupancy & use permit for the subject property. Approval by the Village of Pewaukee Fire Department Chief (or designee), if granted, shall be solely for the benefit of the Village of Pewaukee, and shall not be relied upon by the petitioner or others as proof of fire safety of any structure on the property, or as proof of compliance with any particular fire safety standard that would apply to new construction. The petitioner shall independently determine the fire safety and suitability of all structures on the property for the petitioner's intended uses. Fire department approval following review to ensure any additional fire access requirements for the parking lot as proposed is required prior to building occupancy.
10. This approval is granted for the express conditions stated herein. Changes or alterations including, but not limited to, a change in use, premises, lands, or ownership of the property in question shall require a new Business Site Plan approval with all the zoning procedures at the time being followed. The allowed uses of the property must at no time be hazardous, harmful, obnoxious, offensive, or a nuisance by reasons of appearance, noise, dust, smoke, odor, or other similar factors. Any use not specifically listed, as permitted, shall be considered to be prohibited, except as may be otherwise specified herein.
11. The Property Owner shall keep the exterior condition of the premises in a neat and orderly condition at all times so the premises will not detract from neighboring premises. There shall be no outside storage

of junk, debris, construction material, or other refuse materials within the property and all such materials shall be disposed of promptly and properly.

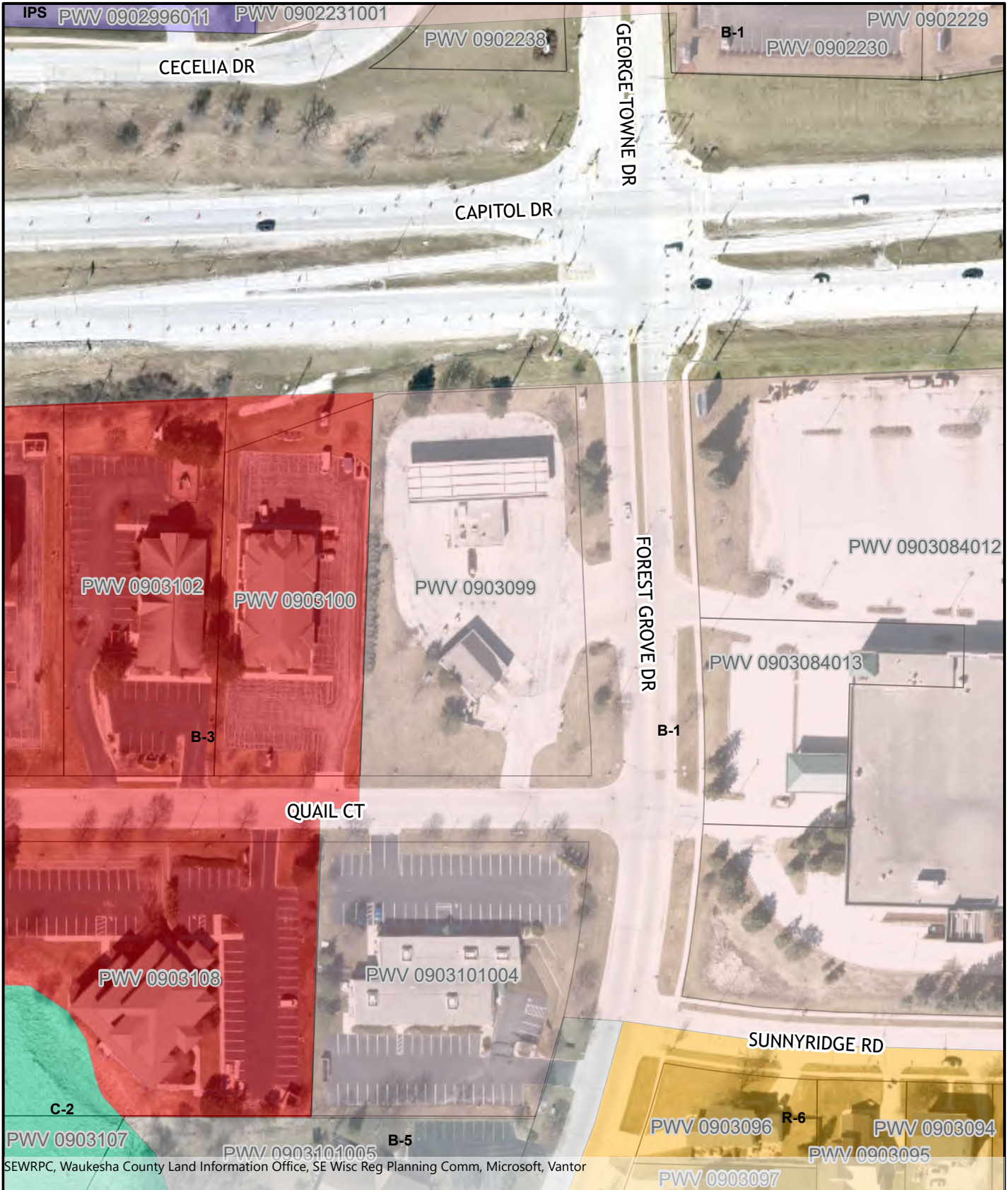
12. The Property Owner shall allow Village of Pewaukee representatives to inspect the premises following a 24-hour notice for the purposes of determining compliance with this approval.
13. The Petitioner and/or Property Owner shall obtain the appropriate permits from the Village of Pewaukee.
14. The Petitioner and/or Property Owner shall, on demand, reimburse the Village of Pewaukee for all costs and expenses of any type incurred by the Village in connection with the review and approval of this application, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services as well as to enforce the conditions in this approval due to a violation of these conditions.

**EXHIBIT:**

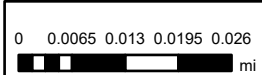
- A. Village Engineer report
- B. GIS Property Location Map
- C. Petitioner Application
- D. Proposed Plans



# Zoning Map



SEWRPC, Waukesha County Land Information Office, SE Wisc Reg Planning Comm, Microsoft, Vantor



N  
1" = 121'  
1:1,452

Village of Pewaukee  
235 Hickory Street  
Pewaukee, WI 53072  
262-691-5660

DISCLAIMER: The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

Notes  
None



# Business Plan of Operation Application

235 Hickory St, Pewaukee WI 53072- villagehall@villageofpewaukeewi.gov-262-691-5660

**Office use only:**

Zoning Admin Approval: \_\_\_\_\_ Date \_\_\_\_\_

Planner Approval: \_\_\_\_\_ Date \_\_\_\_\_

### BUSINESS & PROPERTY

Tax Key No. PWV FEIN#: 39-1141446

Business Name: Johnson Financial Group Current Zoning: B-1

Business Address: 1194 Capitol Drive, Pewaukee, WI 53072

Mailing Address: 555 Main Street, Racine, WI 53403

Email: Brent Hess bhess@johnsonfinancialgroup.com Phone: 262-619-2771

### TENANT INFORMATION

Tenant Name: \_\_\_\_\_ FEIN#: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ Email: \_\_\_\_\_

List any Special Equipment/Facilities/Requirements we need to know about:

### BUSINESS INFORMATION

Description of Business: Retail branch office with a drive-through teller service for Johnson Financial Group.

Type of business:  Retail  Office  Warehouse/Storage  Industrial  Institutional  Wholesale  Other \_\_\_\_\_

New Use?  YES  NO or Expanded Use?  YES  NO Operation Days and Hours: Mon- Fri 8:30 - 5:00

Maximum Number of Employees: Full-time <sup>8</sup> \_\_\_\_\_ Part-time \_\_\_\_\_

Expected Customers per Day: <sup>75</sup> \_\_\_\_\_ Delivery Trucks per day: <sup>1-2</sup> \_\_\_\_\_ Vehicles per day: \_\_\_\_\_

Available Parking Spaces: <sup>21</sup> \_\_\_\_\_ Loading Spaces: <sup>1</sup> \_\_\_\_\_ Overnight Parking:  YES  NO

Outdoor Storage:  YES  NO - If yes, list type: \_\_\_\_\_

Sewage Disposal: Public Sewer Septic Tank / Storm Water Retention/Detention?  YES  NO

Water Supply by:  Public Water  Main  Private Well  Other

Solid Waste  (garbage) Disposal by: Waste Management

List Where any Flammable Substances are stored: \_\_\_\_\_

### Applicant and Property Owner Signature

Brent Hess Brent Hess & Edward F. McMahon Edward F. McMahon 5.5.26

Applicant Signature & Print Name Owner Signature & Print Name Date

Send to Building Services \_\_\_\_\_ Send to Clerk \_\_\_\_\_ Save to Property File \_\_\_\_\_

Commercial & Industrial businesses are required to fill out the below form. The discharge produced must comply with all conditions of the [City of Brookfield Municipal Code Chapter 13.20](http://www.cityofbrookfield.com) at [www.cityofbrookfield.com](http://www.cityofbrookfield.com)

**Notice of Intent to Discharge Wastewater**

Business Name: Johnson Financial Group  
 Business Address: 1194 Capitol Drive, Pewaukee, WI 53072  
 Mailing Address: 555 Main Street, Racine, WI 53403  
 Company Representative: Brent Hess Title: SVP Director Facilities  
 Phone: 262.619.2771 Email: bhess@johnsonfinancialgroup.com

**Description of business:**

**Financial Services**

Number of Employees: Full-time 8 Part-time \_\_\_\_\_  
 Operation Days and Hours: Mon- Fri 8:30 - 5:00 # of Shifts: 1  
 SIC OR NAICS CODE: \_\_\_\_\_

**Reason for filing survey:**

- Change of occupancy
- Construction of a new facility
- Proposing to discharge from a facility where there is currently no discharge or adding a new sewer connection
- Significantly Altering the volume or characteristics of an existing discharge
- Applying for reissuance of an existing discharge permit
- Per request by municipality—discharge ongoing with no expected changes
- Update previous information

**Date when new or altered discharge is expected to begin** April 2027

**Estimated sanitary sewer discharge (report gallons/day):**

	<b>Current:</b>	<b>Proposed:</b>
<b>Process wastewater</b>	<u>unknown</u>	<u>none</u>
<b>Sanitary wastewater</b>	<u>unknown</u>	<u>TBD</u>
<b>Cooling water</b>	<u>none</u>	<u>none</u>

- Note: A review of quarterly water usage bills may be helpful in assigning flow values. Total gal/day (for all uses) = qtr usage (in 1000 gallons) x 1000/# operating days in qtr. This daily total is then distributed into estimated gal/day of process, sanitary, and/or cooling. Process wastewater is any discharge other than sanitary, non-contact cooling or boiler blowdown water. Sanitary flow may be estimated as 20 gal/day/employee.

Use this space to describe the process that will result in the discharge of commercial/industrial process wastewater:

General restroom & break room discharge only.

List chemicals/pollutants expected to be present in your discharge:

none

Describe any wastewater pretreatment and/or facilities to be used:

none

List toxic organic compounds (solvents, flammable compounds etc):

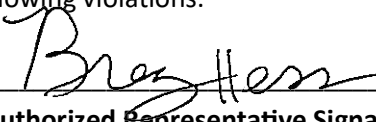
none

How are these toxic organic compounds disposed of:

none

**Agreement to Abide**

I Certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.



5.5.26

Brent Hess

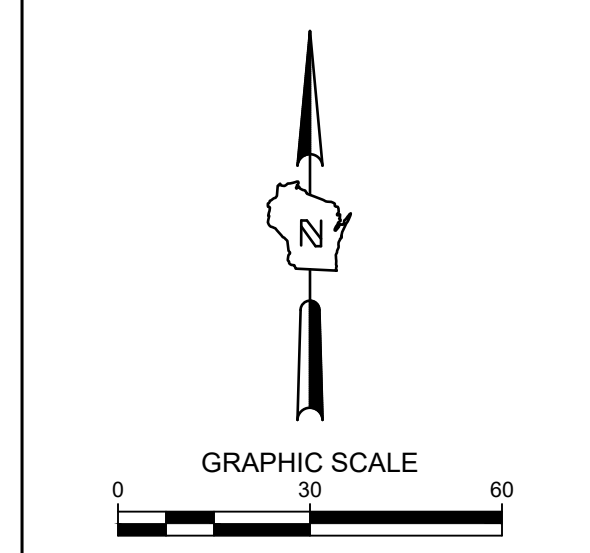
Authorized Representative Signature

Date

Printed Name

Comments:

Staff comments:



**JOHNSON FINANCIAL GROUP - PEWAUKEE**  
**1194 CAPITOL DRIVE**  
**PEWAUKEE, WI 53072**

**SITE SURVEY**

**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

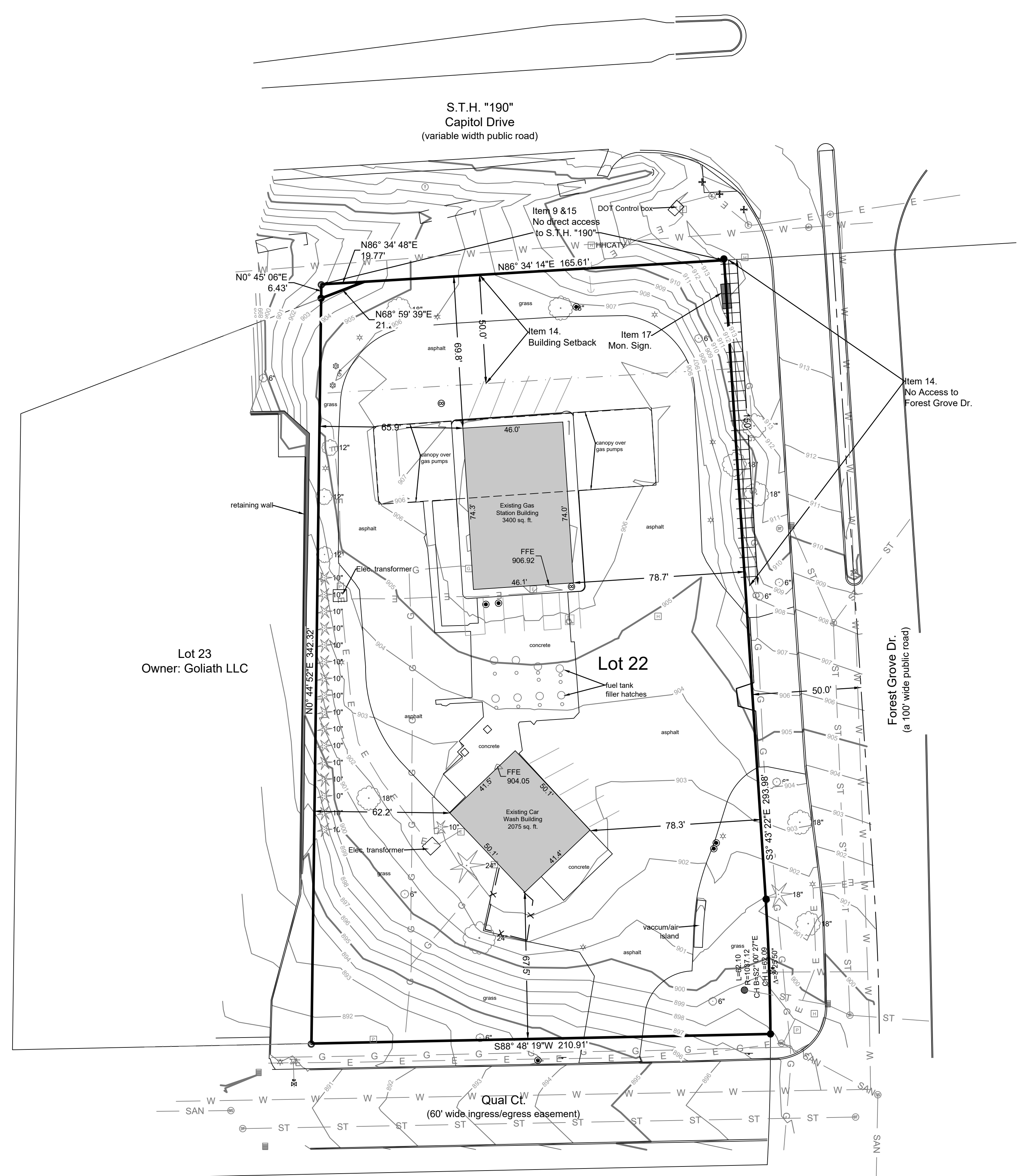
ISSUANCE	DATE
ISSUED FOR REVIEW	04/23/26
PLAN COMMISSION SET	05/12/26

NO. REVISION	DATE

PROJECT NO:	24371
DESIGN DATE:	2026.02.05
PLOT DATE:	2026.05.12
DRAWN BY:	BAM
CHECKED BY:	TPM
APPROVED BY:	---
SHEET NO:	C001

**LEGEND:**

---	SECTION 1/4 SECTION LINE	○	IRON PIPE FOUND/SET
---	PROPERTY LINE	●	REBAR FOUND/SET
---	EASEMENT	⊗	CHISELED CROSS FOUND/SET
-X-X-	CHAIN LINK FENCE	○	PK NAIL FOUND/SET
○-○	GUARD RAIL	●	SPIKE/NAIL
□-□	METAL FENCE	■	MONUMENT
□-□	WOOD FENCE	⊕	BENCHMARK
~	TREE LINE	+	SIGN
OH	OVERHEAD UTILITY LINE	⊖	PARKING METER
E	ELECTRIC	⊖	FLAG POLE
T	TELEPHONE	⊖	DECIDUOUS TREE
FO	FIBER OPTIC	⊖	CONIFEROUS TREE
CTV	CABLE TV	⊖	BUSH
SAN	SANITARY SEWER	⊖	POST
FS	FORCE MAIN	⊖	SOIL BORING
ST	STORM SEWER	⊖	TRAFFIC SIGNAL
W	WATER MAIN	⊖	LIGHT POLE
G	GAS	⊖	UTILITY POLE
670	EXISTING CONTOUR	⊖	GUY WIRE
WET	WETLAND	⊖	GUY POLE
FP	FLOODPLAIN	⊖	
⊕	UNKNOWN MANHOLE	⊖	
⊕	SANITARY MANHOLE	⊖	
⊕	STORM MANHOLE	⊖	
⊕	ELECTRIC MANHOLE	⊖	
⊕	MMSD MANHOLE	⊖	
⊕	TELEPHONE MANHOLE	⊖	
⊕	CLEANOUT	⊖	
⊕	CATCH BASIN	⊖	
⊕	CATCH BASIN (ROUND)	⊖	
⊕	ROOF DRAIN	⊖	
⊕	CULVERT END	⊖	
⊕	HYDRANT	⊖	
⊕	WATER VALVE	⊖	
⊕	GAS VALVE	⊖	
⊕	GAS METER	⊖	
⊕	ELECTRIC METER	⊖	
⊕	UTILITY PEDESTAL	⊖	
⊕	HANDHOLE	⊖	
⊕	VENT	⊖	
⊕	MONITORING WELL	⊖	
⊕	YARD LIGHT	⊖	



- GENERAL NOTES:**
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
  2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
  3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY THE SIGMA GROUP ON SEPTEMBER 9, 2025.
  4. DATUM FOR THE PROJECT SURVEY IS NAVD88. BENCHMARK FOR THE PROJECT SURVEY IS MANHOLE LID ON FORREST GROVE DRIVE. ELEVATION: 908.07.
  5. CONTRACTOR TO VERIFY EXISTING CONDITIONS, CONTACT ENGINEER WITH DISCREPANCIES.



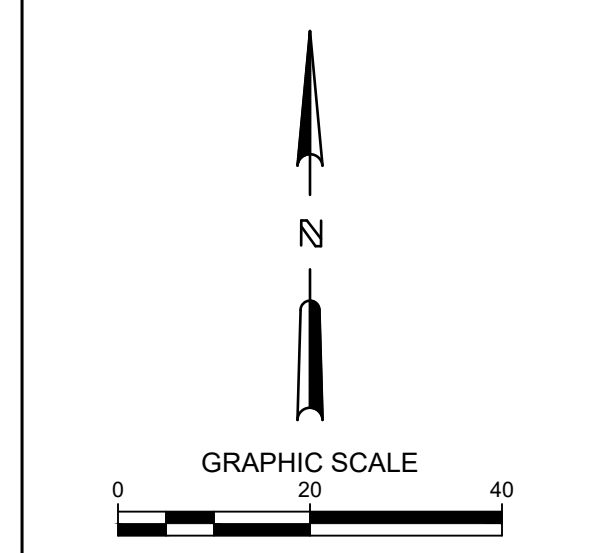
CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE

MS STATUTE 182.07(2)(97A)  
 REQUIRES MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE  
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

SITE INFORMATION		
SITE AREA	69986.22	1.607 AC
SITE DISTURBED AREA	63539.71	1.459 AC
EXISTING IMPERVIOUS AREA	25413.24	0.583 AC 36.3 %
PROPOSED IMPERVIOUS AREA	45643.82	1.048 AC 65.2 %
TOTAL PARKING SPACES	21	
ADA PARKING SPACES	2	

**THE SIGMA GROUP**  
*Single Source. Sound Solutions.*  
 www.thesigmagroup.com  
 1300 West Canal Street  
 Milwaukee, WI 53233  
 Phone: 414-643-4200  
 Fax: 414-643-4210



**LEGEND:**

	(C401) 5' THICK CONCRETE WALK
	(B401) CONCRETE PAVEMENT
	(G401) ASPHALT SURFACE
	(A401) CURB & GUTTER (ACCEPT)
	(A401) CURB & GUTTER (REJECT)

Lot 23  
 Owner: Goliath LLC

JOHNSON FINANCIAL GROUP - PEWAUKEE  
 1194 CAPITOL DRIVE  
 PEWAUKEE, WI 53072  
 SITE PLAN

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

ISSUANCE	DATE
ISSUED FOR REVIEW	04/23/26
PLAN COMMISSION SET	05/12/26

NO. REVISION	DATE

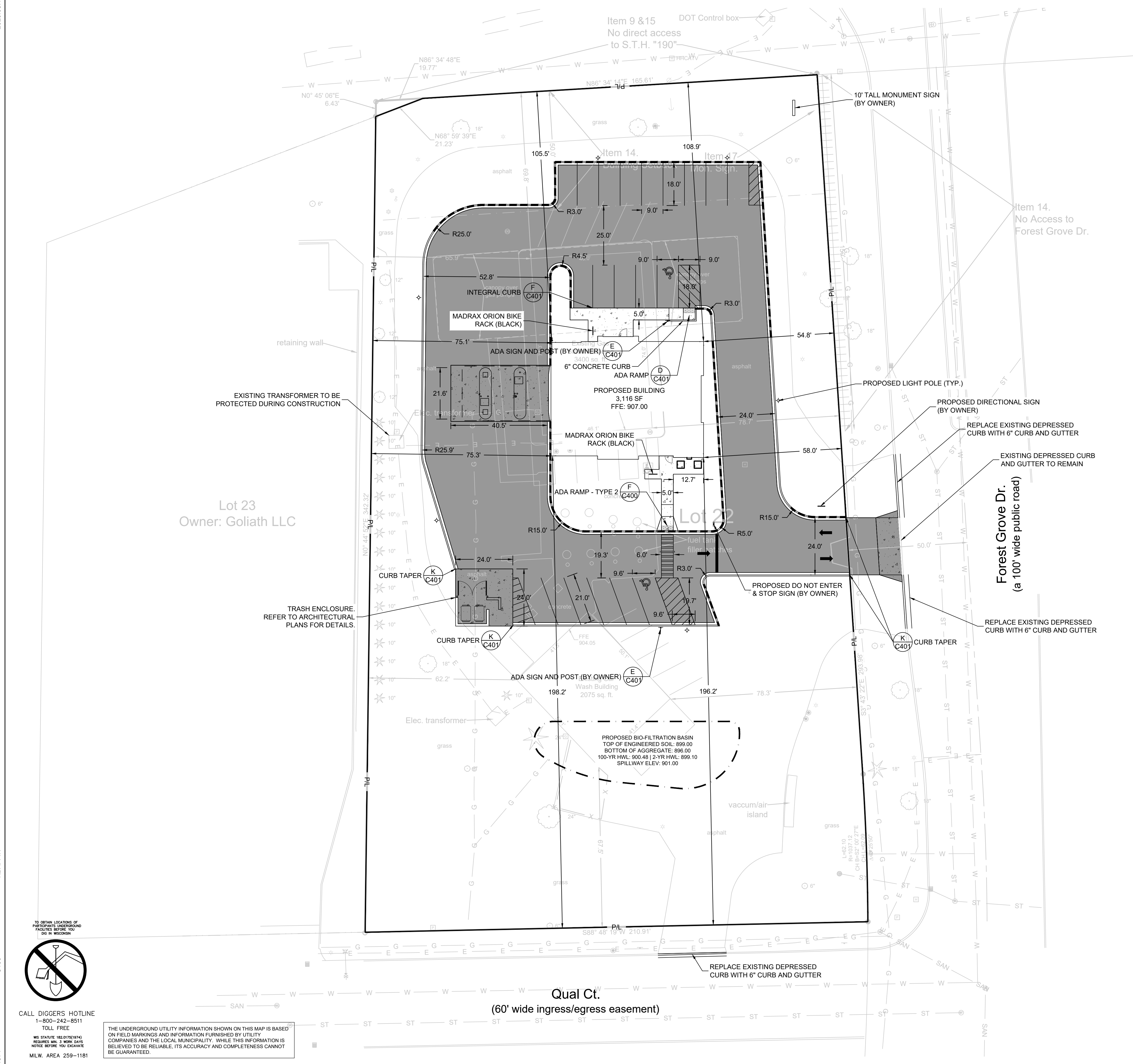
PROJECT NO:	24371
DESIGN DATE:	2026.02.05
PLOT DATE:	2026.05.12
DRAWN BY:	BAM
CHECKED BY:	TPM
APPROVED BY:	---
SHEET NO:	C100



CALL DIGGERS HOTLINE  
 1-800-242-8511  
 TOLL FREE  
 WIS. STATUTE 182.07(2)(b)  
 REQUIRES MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE  
 MILW. AREA 259-1181

THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS MAP IS BASED ON FIELD MARKINGS AND INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED.

- GENERAL NOTES:**
- THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
  - VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
  - WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
  - ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
  - DIMENSIONS ARE FROM FACE OF CURB OR EDGE OF PAVEMENT.
  - WORK WITHIN THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO DRIVEWAY OPENINGS, SIDEWALK AND RAMPS, PAVING, AND CURB AND GUTTER SHALL BE COMPLETED PER MUNICIPAL AND/OR COUNTY REQUIREMENTS AND STANDARDS.
  - EARTHWORK SHALL BE IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.



TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**DIGGERS HOTLINE**

CALL DIGGERS HOTLINE 811 or 1-800-292-8511  
MILW AREA 259-1181  
WIS STATUTE 192.0175(1974)  
REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

WEST CAPITOL DRIVE

**HELLER & ASSOCIATES, LLC**  
LANDSCAPE ARCHITECTURE

P.O. Box 1359  
Lake Geneva, Wisconsin 53147-1359  
ph 262.639.9733  
david@wdavidheller.com  
www.wdavidheller.com



PROJECT

**JOHNSON FINANCIAL GROUP**

1194 Capitol Dr.  
Pewaukee, WI

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
4.01.26	SITE INSPECTION
4.20.26	REVISIONS
4.22.26	REV. GRADING
4.30.26	70% REVIEW COMMENTS
5.08.26	OWNER REVIEW
5.12.26	REV. SITE/CIVIL
6.01.26	REV. SITE/CIVIL
6.02.26	CONST. DOCUMENTS

**Agrecol LLC**  
www.agrecol.com  
10101 N. Casey Road  
Evansville, Wisconsin 53536  
Ph: 608-223-3571

**Infiltration Swale Seed Mix**

Botanical Name	Common Name	PLS Ounces/Acre
<b>Permanent Grasses/Sedges/Rushes:</b>		
<i>Andropogon gerardii</i>	Big Bluestem	10.00
<i>Bromus ciliatus</i>	Fringed Brome	36.00
<i>Carex comosa</i>	Bristly Sedge	5.00
<i>Carex vulpinoidea</i>	Brown Fox Sedge	1.50
<i>Elymus virginicus</i>	Virginia Wild Rye	36.00
<i>Glyceria striata</i>	Fowl Manna Grass	2.00
<i>Panicum virgatum</i>	Switchgrass	3.00
<i>Scirpus atrovirens</i>	Dark-Green Bullrush	0.50
<i>Scirpus cyperinus</i>	Wool Grass	0.25
<i>Sorghastrum nutans</i>	Indian Grass	16.00
<i>Spatina pectinata</i>	Prairie Cordgrass	8.00
<b>Total</b>		<b>118.25</b>

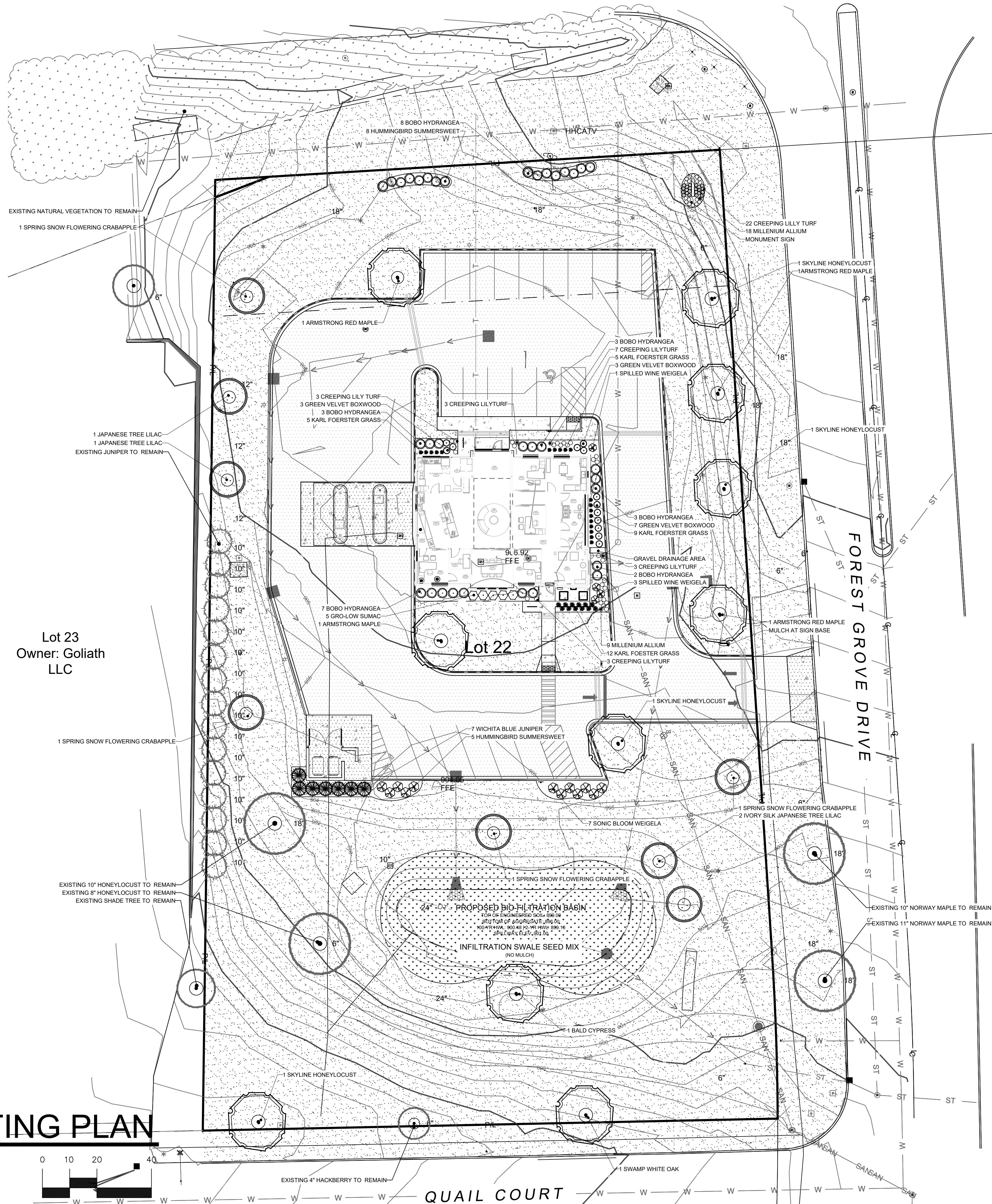
Forbs:	Common Name	PLS Ounces/Acre
<i>Alisma subcordatum</i>	Common Water Plantain	2.00
<i>Asclepias incarnata</i>	Marsh (Red) Milkweed	6.00
<i>Aster novae-angliae</i>	New England Aster	2.00
<i>Desmodium canadense</i>	Canada Tick Trefoil	4.00
<i>Ratibida pinnata</i>	Yellow Coneflower	3.00
<i>Rudbeckia hirta</i>	Black-eyed Susan	2.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	2.00
<i>Solidago ohioensis</i>	Ohio Goldenrod	1.00
<i>Verbena hastata</i>	Blue Vervain	1.75
<i>Vernonia fasciculata</i>	Ironweed	2.00
<b>Total</b>		<b>25.75</b>

**Approximate area of coverage:**

Total area (SF) of coverage of infiltration area:	4,175
Total area (acres) of coverage of infiltration area:	0.10

**INFILTRATION SWALE SEED MIX**

**LANDSCAPE PLANTING PLAN**  
Scale: 1" = 20'0"



Lot 23  
Owner: Goliath LLC

QUAIL COURT

FOREST GROVE DRIVE

SHEET TITLE

**LANDSCAPE PLANTING PLAN**

PROJECT MANAGER	WDH
PROJECT NUMBER	26-014
DATE	6.02.26
SHEET NUMBER	

**L 1.1**



VIEW FROM NORTHEAST



VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

# Johnson Financial Group - Pewaukee

Renderings

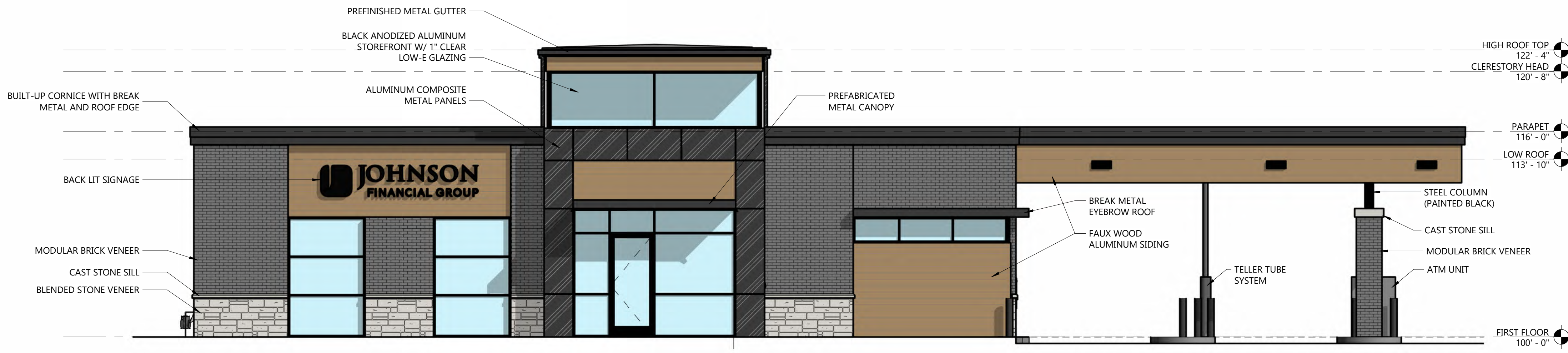
NOTE: RENDERING IS SCHEMATIC IN NATURE. REFER TO LANDSCAPE PLANS FOR LANDSCAPE DESIGN. REFER TO CIVIL PLANS FOR GRADING. REFER TO PRODUCT SAMPLES FOR EXTERIOR BUILDING MATERIALS.



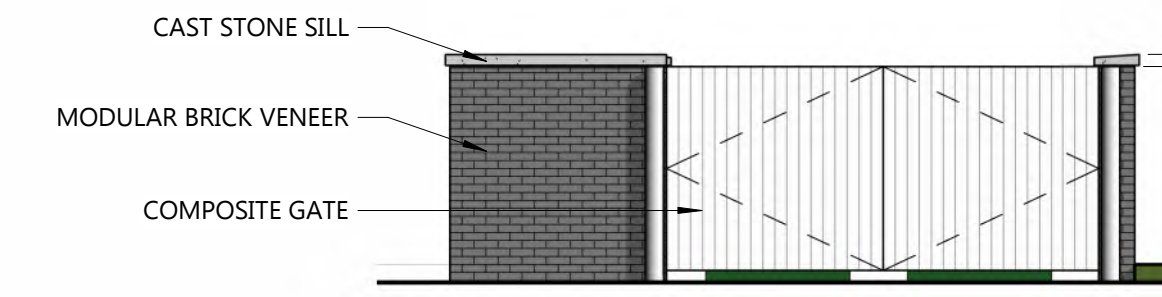
25024

5/12/2026

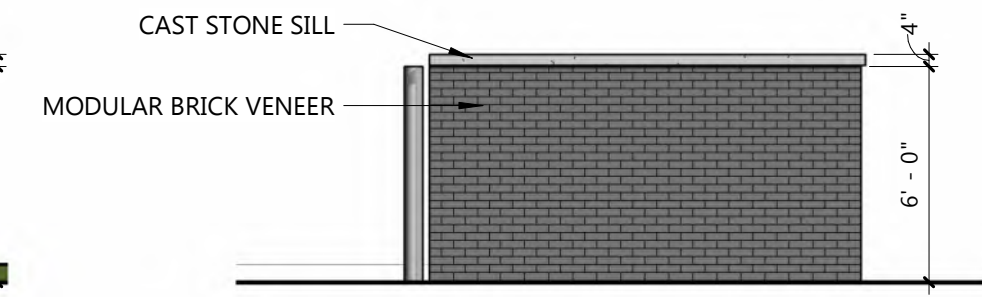
© 2026 The Redmond Company



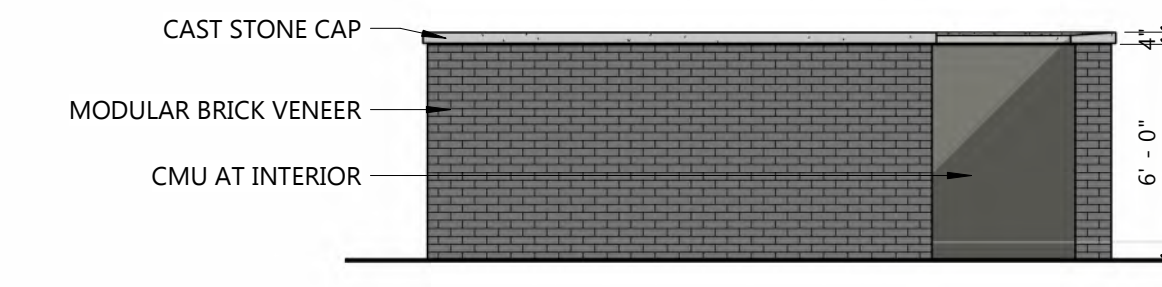
1 EXTERIOR ELEV - NORTH PRESENTATION  
3/16" = 1'-0"



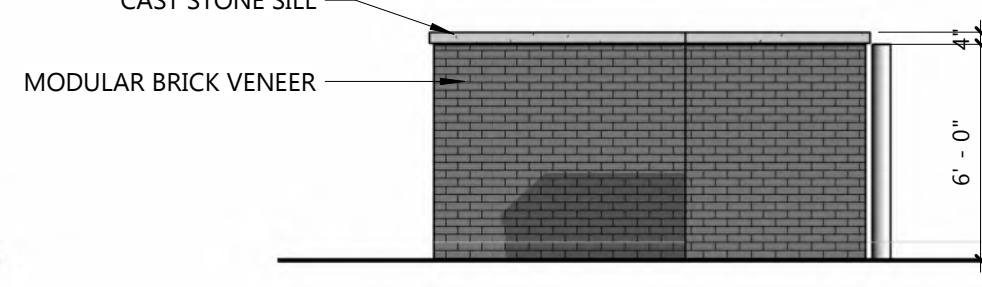
6 TRASH ENCLOSURE - NORTH  
3/16" = 1'-0"



7 TRASH ENCLOSURE - EAST  
3/16" = 1'-0"



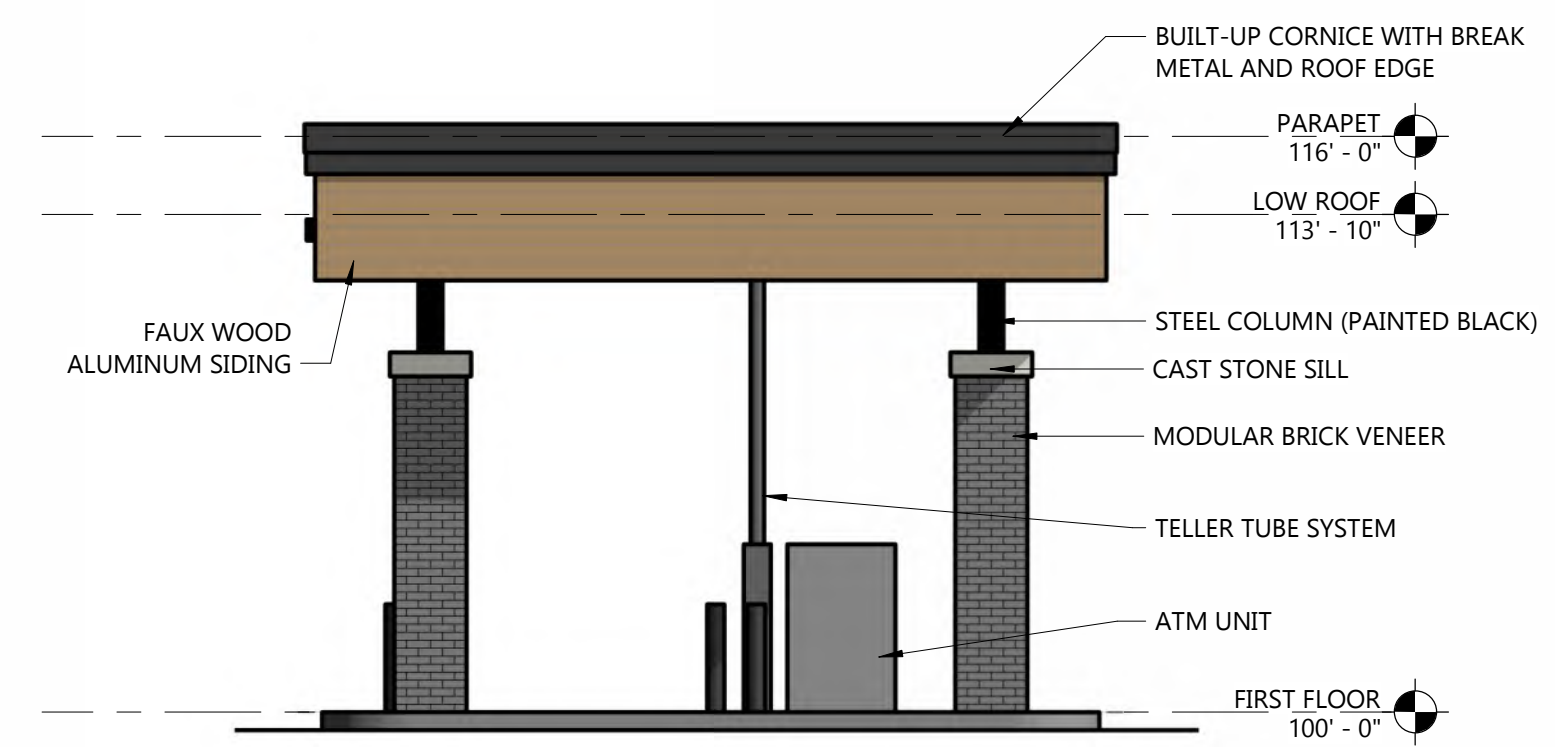
8 TRASH ENCLOSURE - SOUTH  
3/16" = 1'-0"



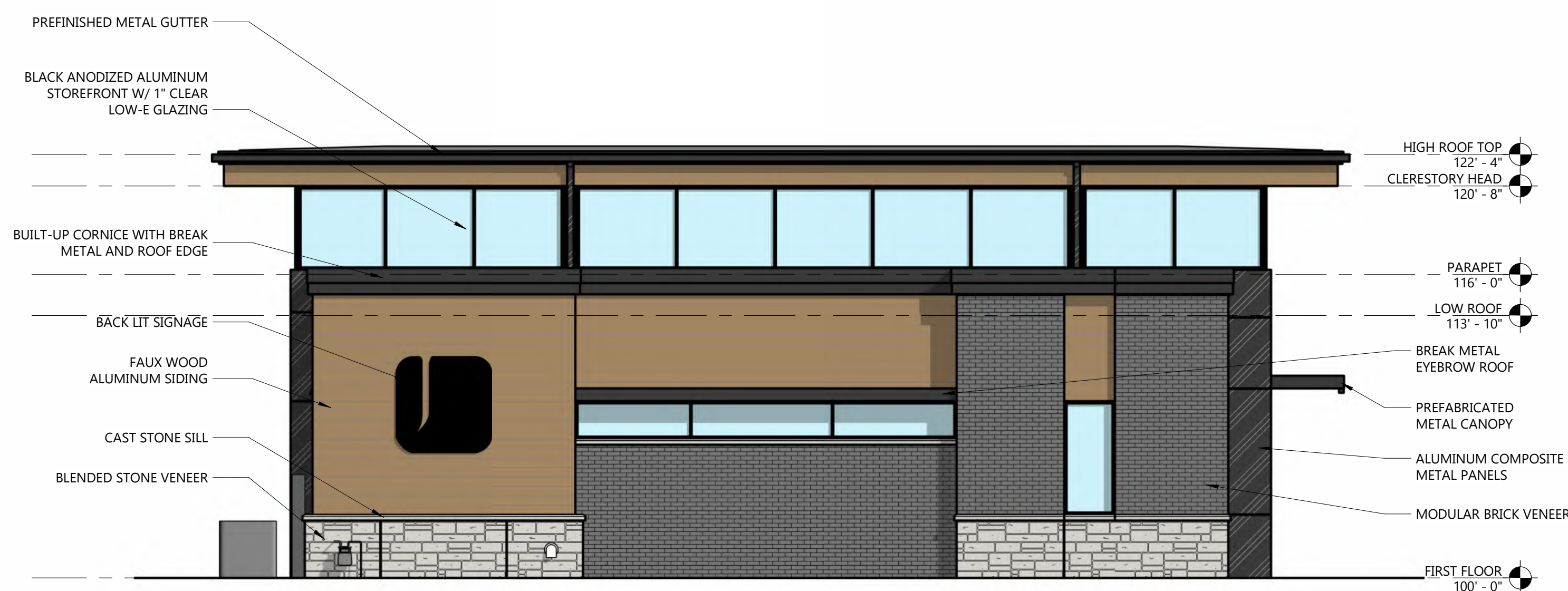
9 TRASH ENCLOSURE - WEST  
3/16" = 1'-0"



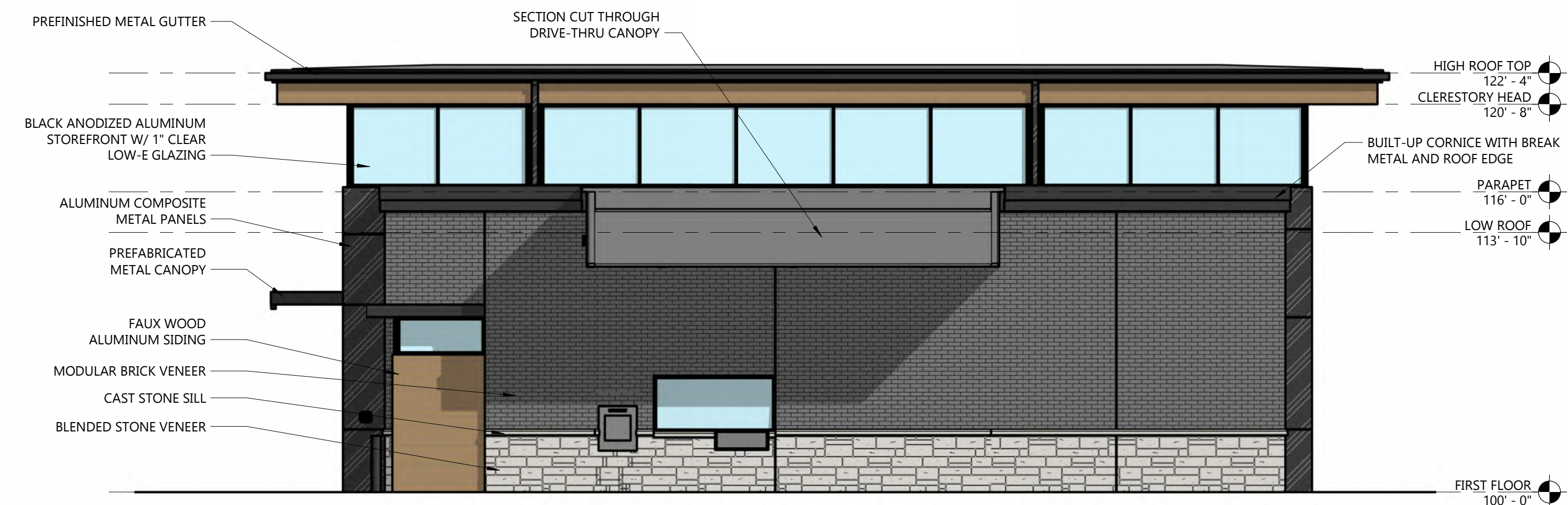
2 EXTERIOR ELEV - SOUTH PRESENTATION  
3/16" = 1'-0"



3 EXTERIOR ELEV - CANOPY WEST  
3/16" = 1'-0"



4 EXTERIOR ELEV - EAST PRESENTATION  
3/16" = 1'-0"



5 EXTERIOR ELEV - WEST PRESENTATION  
3/16" = 1'-0"

This document is owned by and the information contained in it is proprietary to Still Waters Sign Company, LLC. By receipt hereof, the holder agrees not to use the information, disclose it to any third party or reproduce this document without the prior written consent of Still Waters Sign Company, LLC. Holder also agrees to immediately return this document upon request by Still Waters Sign Company, LLC.

This document represents only an approximation of material colors specified. Actual product colors may vary from this print or digital image.

Project



**Pewaukee**

1194 Capitol Drive  
Pewaukee, Wisconsin

Scale: NTS  
Original Page Size: 11" x 17"

Notes

•



Revisions

REV	DESCRIPTION	BY	DATE
01	sign direction/Locs	seb	04.26.26

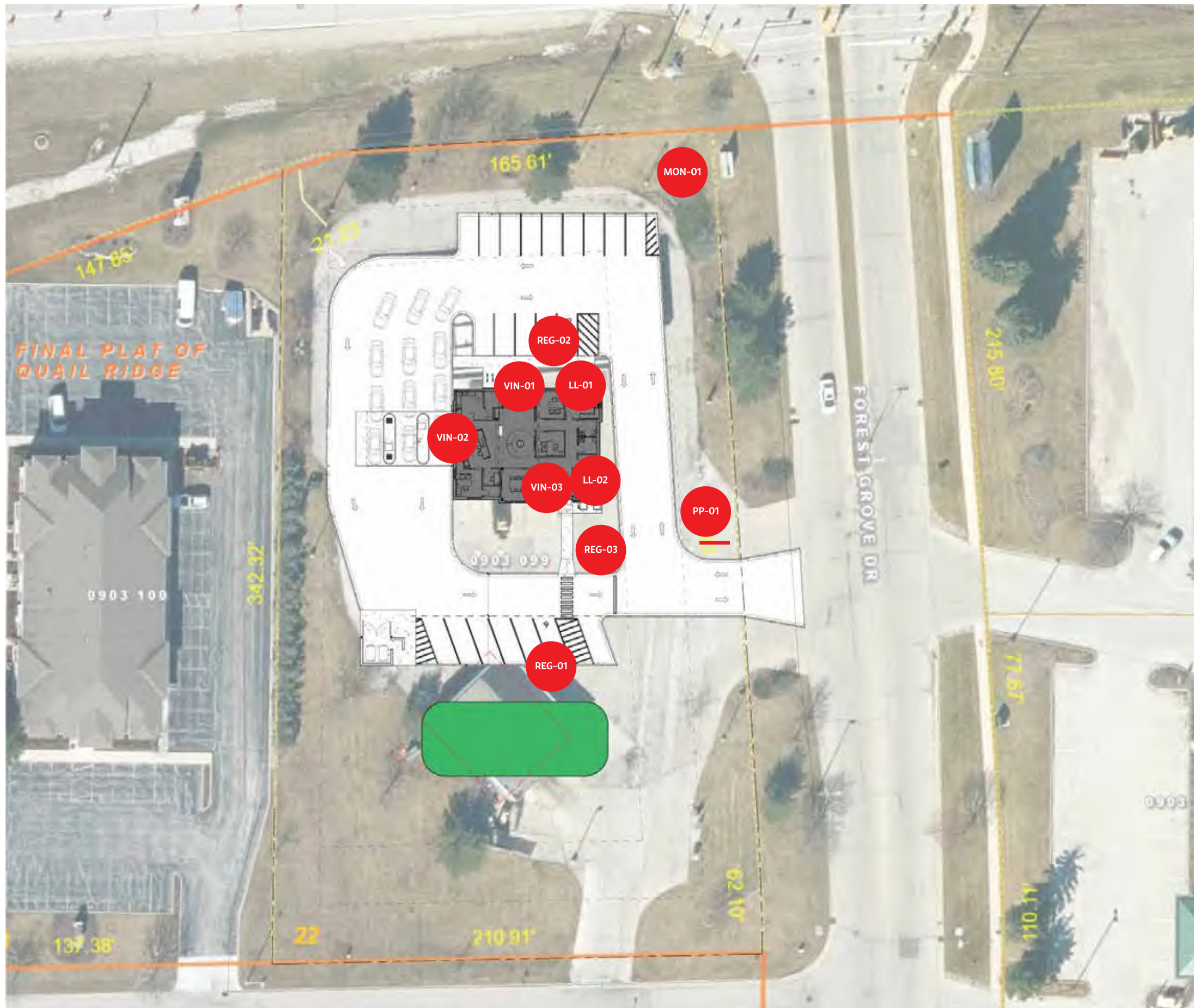
Consultant : Matt Kaminski  
Design : Sarah Biagioni Orig. Date: 04/20/26

Sign Loc. No.

**SITE PLAN**

Sign. Type

Project - Job No. **C01**  
Design



# SIGN SPECIFICATIONS

## (A) - CABINET

**Lighting:** LED Lit  
**Material:** Aluminum  
**Face Color:** Paint to match Sherwin Williams Natural Tan SW 7567  
**Installation:** New Structure

## (B) - GROOVES

**Material:** Engraved horizontal lines (Endmill Cut) into .19 Aluminum faces. Lines to wrap around entire sign  
**Depth:** 1/16"  
**Color:** Sherwin Williams Natural Tan SW 7567

## (C) - GRAPHICS

**Material:** 3/4" Push-Thru Acrylic (1/2" Proud of face)  
**Color:** 7725-22 Black Vinyl applied first surface (leaving slight outline-1/32"), 3635-70 Diffuser applied second surface

## (D) - CABINET

**Lighting:** LED Lit  
**Material:** Aluminum  
**Face Color:** Paint Black

## (E) - GRAPHICS

**Material:** 3/4" Push-Thru Acrylic (1/2" Proud of face)  
**Color:** Light Beige 3630-149 Vinyl applied first surface (OPAQUE - leaving slight outline-1/32"), 3635-70 Diffuser applied second surface

## (F) - BASE & REVEAL

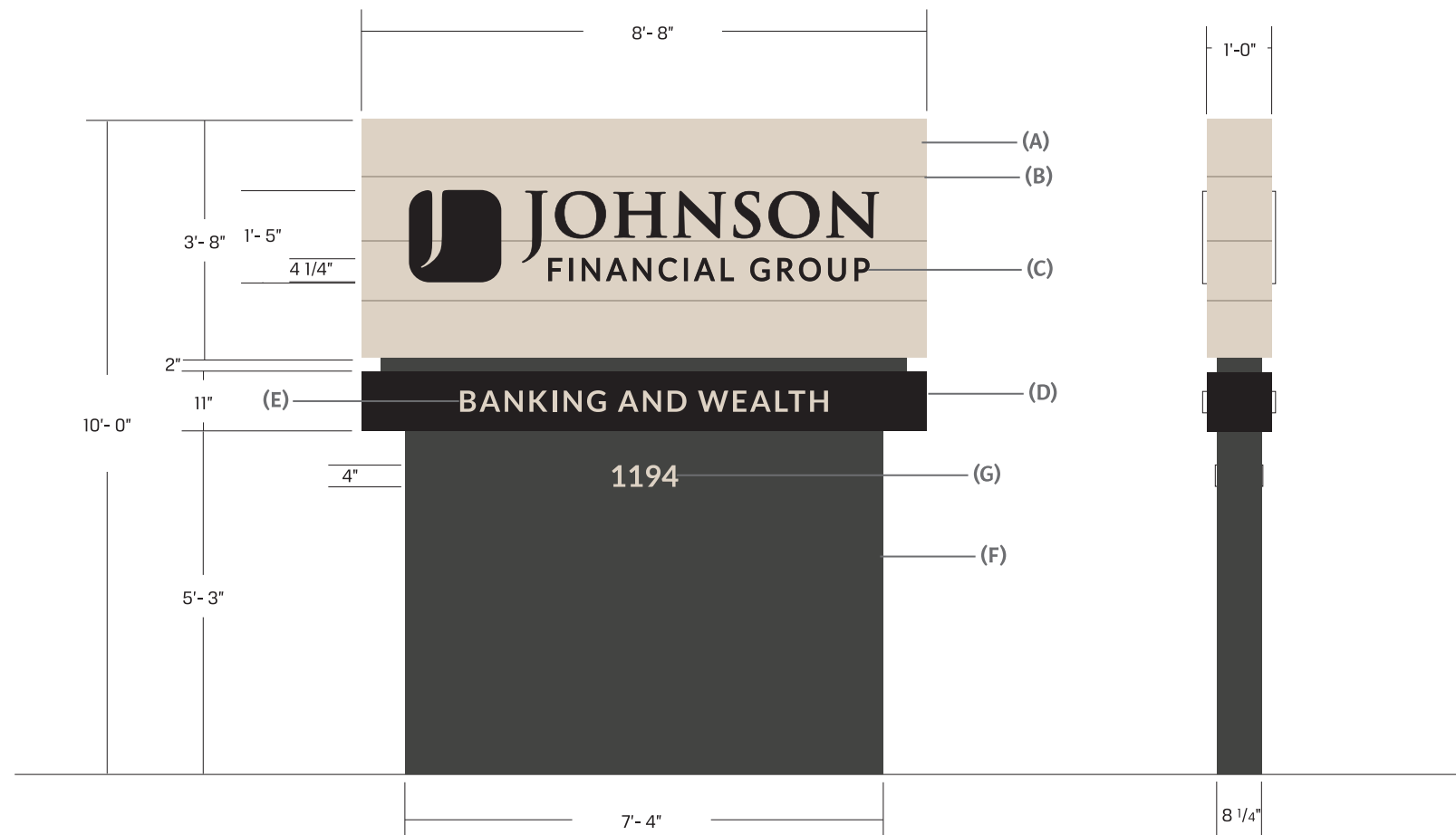
**Material:** Aluminum  
**Color:** Sherwin Williams Iron Ore SW 7069

## (G) - NON-ILLUMINATED LETTERS

**Material:** Aluminum  
**Depth:** 1/4"  
**Color:** Light Beige 3630-149 Vinyl applied first surface (OPAQUE)  
**Return Color:** Paint Sherwin Williams Iron Ore SW 7069  
**Installation:** Stud Mounted flush to cladding



night layout



This document is owned by and the information contained in it is proprietary to Still Waters Sign Company, LLC. By receipt hereof, the holder agrees not to use the information, disclose it to any third party or reproduce this document without the prior written consent of Still Waters Sign Company, LLC. Holder also agrees to immediately return this document upon request by Still Waters Sign Company, LLC.  
 This document represents only an approximation of material colors specified. Actual product colors may vary from this print or digital image.

## Project



## Pewaukee

1194 Capitol Drive

Pewaukee, Wisconsin

Scale: 3/8"=1'

Original Page Size: 11" x 17"

## Notes

.



## Revisions

REV	DESCRIPTION	BY	DATE
.			

Consultant : Matt Kaminski

Design : Sarah Biagioni Orig. Date: 04/13/26

## Sign Loc. No.

**MON-01**

D/F Monument

Sign. Type

Project - Job No.

**C01**  
Design

# SIGN SPECIFICATIONS

**(A) - ILLUMINATED LETTERS**

- Lighting:** LED
- LED Color:** White
- Description:** Back-Lit (Remote)
- Face Color:** Painted Black
- Return Color:** Painted Black
- Depth:** 2"
- Installation:** Stand-off 1.5"



proposed layout - day view (north elevation)



proposed layout - night view (north elevation)



This document is owned by and the information contained in it is proprietary to Still Waters Sign Company, LLC. By receipt hereof, the holder agrees not to use the information, disclose it to any third party or reproduce this document without the prior written consent of Still Waters Sign Company, LLC. Holder also agrees to immediately return this document upon request by Still Waters Sign Company, LLC.

This document represents only an approximation of material colors specified. Actual product colors may vary from this print or digital image.

Project



**Pewaukee**

1194 Capitol Drive  
Pewaukee, Wisconsin

Scale: 1/2"=1'  
Original Page Size: 11" x 17"

Notes

.



Revisions

REV	DESCRIPTION	BY	DATE
.			

Consultant : Matt Kaminski  
Design : Sarah Biagioni Orig. Date: 04/13/26

Sign Loc. No. NORTH

**LL-01**  
Lit Letters  
Sign. Type

Project - Job No. **C01**  
Design

# SIGN SPECIFICATIONS

**(A) - ILLUMINATED LETTERS**

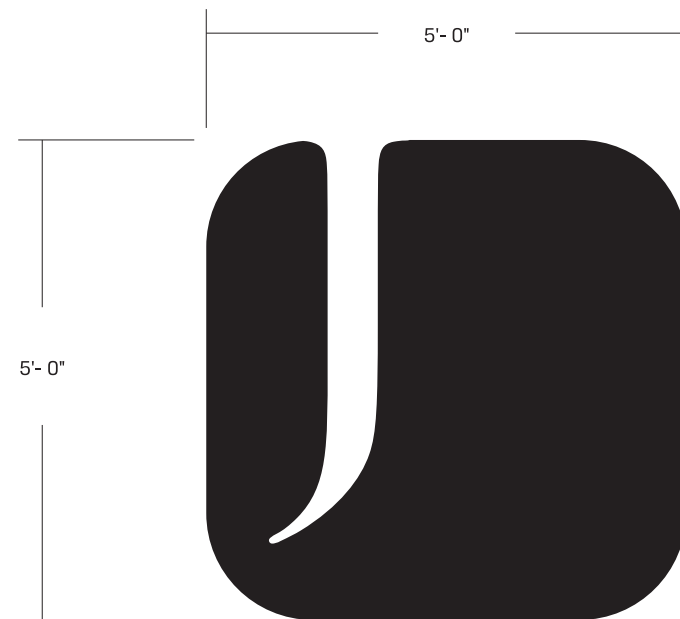
- Lighting:** LED
- LED Color:** White
- Description:** Back-Lit (Remote)
- Face Color:** Painted Black
- Return Color:** Painted Black
- Depth:** 2"
- Installation:** Stand-off 1.5"



proposed layout - day view (east elevation)



proposed layout - night view (east elevation)



This document is owned by and the information contained in it is proprietary to Still Waters Sign Company, LLC. By receipt hereof, the holder agrees not to use the information, disclose it to any third party or reproduce this document without the prior written consent of Still Waters Sign Company, LLC. Holder also agrees to immediately return this document upon request by Still Waters Sign Company, LLC.  
This document represents only an approximation of material colors specified. Actual product colors may vary from this print or digital image.

Project



**Pewaukee**

1194 Capitol Drive  
Pewaukee, Wisconsin

Scale: 1/2"=1'  
Original Page Size: 11" x 17"

Notes

.



Revisions

REV	DESCRIPTION	BY	DATE
.			

Consultant : Matt Kaminski  
Design : Sarah Biagioni Orig. Date: 04/13/26

Sign Loc. No. EAST

**LL-02**  
Lit Letters  
Sign. Type

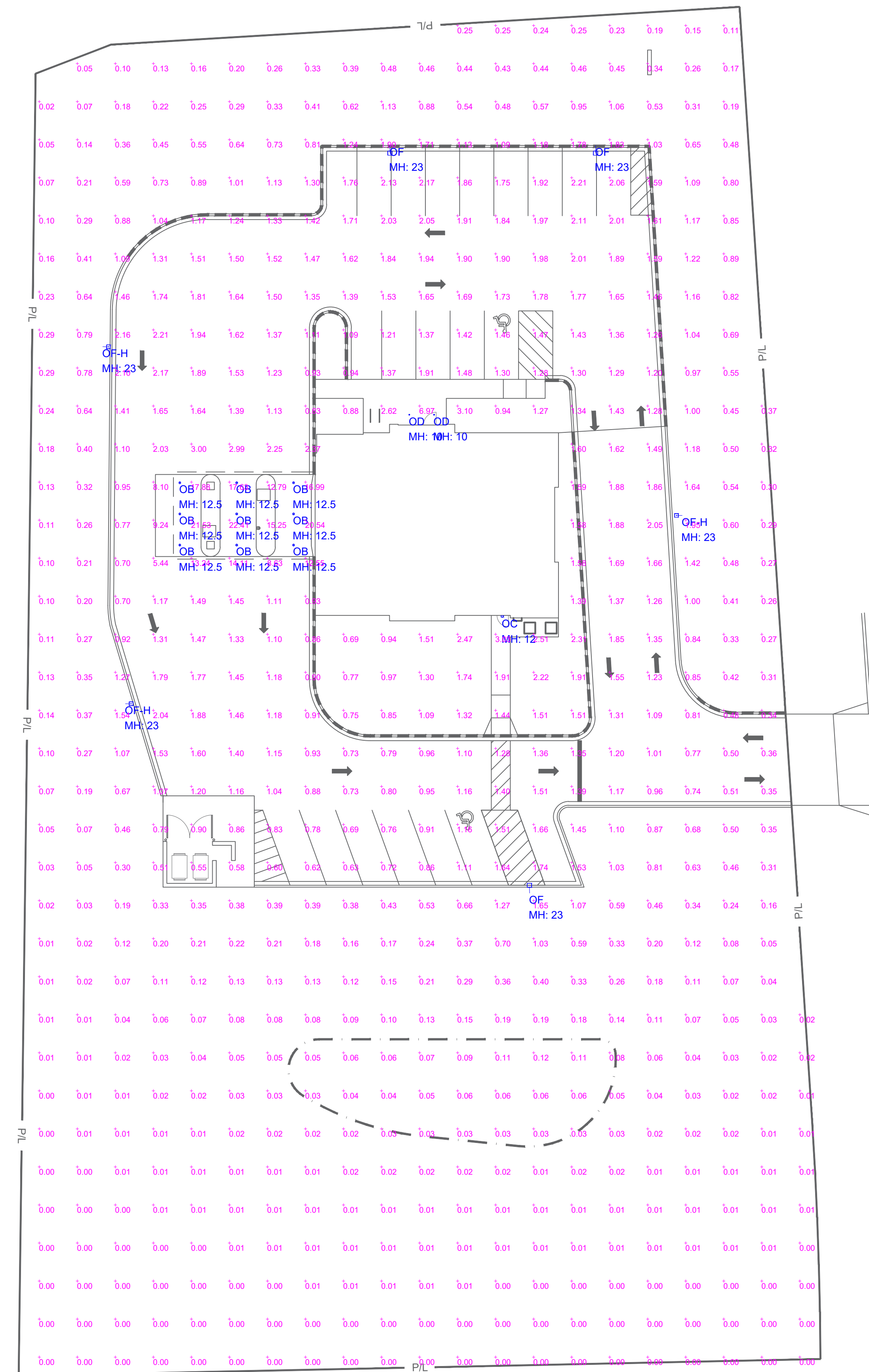
Project - Job No. C01  
Design

NOTES:

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
  - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
  - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.

Luminaire Schedule								
Qty	Label	Arrangement	LLF	MFR	Description	Lum. Watts	Total Watts	Lum. Lumens
9	OB	SINGLE	0.900	LITHONIA	LDN6 ALO2 SHW1 L06AR LSS 80CRI (2000LM)	25	225	2634
1	OC	SINGLE	0.900	LITHONIA	WDGE2 LED P3 40K 80CRI T3M MVOLT SRM DBLXD	32.1	32.1	3216
2	OD	SINGLE	0.900	LITHONIA	WF6 LED 30K40K50K MVOLT 90CRI 4000K	13.5	27	1214
3	OF	Single	0.950	LITHONIA	DSX1 LED P2 40K T4M MVOLT G1 + 20' POLE + 3' BASE	67.79	203.37	9908
3	OF-H	SINGLE	0.900	LITHONIA	DSX1 LED P2 40K T4M MVOLT HS G1 + 20' POLE + 3' BASE	70	210	6758

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.98	22.41	0.00	N.A.	N.A.
DRIVE THRU	Illuminance	Fc	4.03	22.4	0.7	5.76	32.00
ENTRY DRIVE	Illuminance	Fc	1.21	2.1	0.3	4.03	7.00
PARKING AREA 1	Illuminance	Fc	1.70	2.2	1.2	1.42	1.83
PARKING AREA 2	Illuminance	Fc	1.07	1.7	0.6	1.78	2.83
UNDER CANOPY	Illuminance	Fc	16.62	22.4	8.6	1.93	2.60



COMMENTS	
DATE	
#	
REVISIONS	

DRAWN BY : AD	DATE : APR 28, 2026	SCALE : 1" = 20'-0"
---------------	---------------------	---------------------

JOHNSON FINANCIAL	PEWAUKEE, WISCONSIN	LIGHTING LAYOUT
-------------------	---------------------	-----------------



CREATIVITY BEYOND ENGINEERING

**DATE:** June 1, 2026

**TO:** Village of Pewaukee Plan Commission

**FR:** Jake Scholbe, P.E. – Village Consulting Engineer

**CC:** Matt Heiser – Village Administrator  
Mackenzie Quigley – Village Clerk  
Mark Lyons – Village Planner  
Matt Gralinski – Village Attorney  
Dave Buechl – Director of Public Works/Engineer

**RE:** Johnson Financial Group Site Plan Review – 1194 Capitol Drive, Pewaukee, WI 53072

## **Report**

The applicant has applied for a site plan and plan of operation approval for the development of a financial institution utilizing 1.7 Acres of tax parcel PWV 0903099 at the southwest corner of Capitol Drive and Forest Grove Drive. The proposed project will redevelop an existing gas station at this parcel. A full set of engineering plans were provided.

Site Plan: The site proposes a combination of bituminous (asphalt) and concrete pavement. Parking stall dimensions are met on site. Accessible parking stalls are provided as required by law and meet ADA requirements for dimension, quantity, grade, and signage.

Traffic Access: The site proposes one access point off of Forest Grove Drive. The access point will allow both ingress/egress into the site, meeting the Village code for the appropriate width. The aisle for the parking lot on the north side of the site does not meet the minimum width for two-way traffic with 90-degree parking stalls. The aisle for the parking lot along the east side of the site adjacent to the building is adequate and meets the Village code for appropriate width.

Site Grading and Drainage: All stormwater within the site will be captured within the site or through existing storm sewer along the private road. There will be not be any negative effects on adjacent properties.

The development site will have curb and gutter throughout the parking lot and access drives. Site stormwater will be collected in catch basins located in the parking areas. Building stormwater will be conveyed via downspouts, storm laterals, and storm sewer. All parking lot and roof drainage will be conveyed to the proposed bio-retention basin on site.

Stormwater Management: Stormwater management is required for the proposed site as it disturbs a land surface of greater than one acre. The proposed site will need to meet the peak discharge and total suspended solids technical standards described in the Village code. Since the existing site is a gas station and has known contaminants within the soils, Infiltration is prohibited by this development. A stormwater management plan was submitted by the applicant demonstrating compliance with the Village stormwater code.

Sanitary Sewer and Water: The site proposal includes one connection with the Village sanitary sewer system. A sanitary lateral on the east side of the proposed building connecting to the existing sanitary manhole at the

northwest corner of Forest Grove Drive and Quail Court. This lateral will convey all sanitary flows from the building. A water service connection to the existing water main along the south Capitol Drive terrace is proposed. Connection of sewer laterals and water services require a plumbing permit.

Erosion Control: Silt fence is provided along the west, south, and east perimeters of the site. Inlet protection will be provided for existing catch basins within the private road. Inlet protection shall be provided on all proposed catch basins within the project site once they are installed. Trackout control practices (stone tracking pads) are shown at the Forest Grove Drive site access point. There is a proposed swale along the north and west sides of the site what will require temporary ditch checks during construction.

## **Recommendation**

I recommend approval of the site civil plans (C001-C501) subject to the following comments being addressed prior to final staff approval:

### Civil Plans - General

1. Permits/approvals will need to be obtained by the developer for this development from WDNR, and DSPS. Copies of these permits shall be sent to the Village when received.
2. With this site being a known contaminated site per the WDNR Removal and Remediation (RR) database, the developer shall provide all documentation to the Village pursuant to WDNR approval for the proposed work.
3. Add a concrete driveway detail to the plans.

### Sheet C001 – Site Survey

4. The existing water and sewer services are missing from the plan. Show on the site survey plan and all pertinent plan sheets.

### Sheet C002 – Site Preparation and Erosion Control Plan

5. Revise the alignment of the perimeter silt fence to the slope intercept of the proposed grading to minimize the area where site sediment could accumulate.
6. Within the proposed swale along the north and east sides of the disturbance, add temporary ditch checks. A minimum one row on either side of the swale high point, set midway between the high point and discharge points, shall be incorporated.
7. Shift the site tracking pad east such that it abuts the east site limit.
8. Delineate the limits of the proposed ECRM for the proposed bio-filtration basin overflow spillway so that the extents are clearly understood.

### Sheet C100 – Site Plan

9. Per ADA code part 208.3.1, the ADA stall shall be on the shortest accessible route to the building entrance. The ADA stall on the north side of the building shall be moved closer to the building entrance to this effect. The curb ramp shall also move accordingly.

10. At the south building entrance, verify whether the ADA minimum clear width of 3 feet is maintained at the proposed building door. Widen the entrance area if 3 feet of width between the door swing radius and edge of walk cannot be maintained.
11. Extend the curb & gutter replacement on Quail Court both east and west to the nearest joints. Additionally, the asphalt pavement in front of this curb & gutter replacement shall be patched a minimum of 18" wide due to its failed condition.

## Sheet C200 – Grading Plan

12. The slope of the concrete between the north building door and the integral walk along the nearby parking row measures steeper than the ADA maximum 1:48. Revise to the ADA maximum sloping.
13. Revise the proposed contours south of the proposed site entrance within the Forest Grove Drive right-of-way. They do not appear to reflect the proposed grading design and appear to be drafting related.
14. Provide dimensions of the proposed bio-filtration basin spillway on the plan. Based on measuring the distance between contours, the spillway geometry does not appear to match the dimensions given in the details. Ensure plan information is consistent.

## Sheet C300 – Utility Plan

15. The water service connection location shall be on Quail Court. Revise the design of the water service accordingly.
16. A cleanout and/or manhole is recommended the 45-degree bend east of the building sewer connection. Consider incorporating into the design.
17. At the proposed storm/sanitary crossing, we calculate an approximate top elevation of the sanitary lateral of 899.1+/- . Verify and revise as necessary.
18. Consider revising the invert elevations in SAN Sampling MH 2.0 such that there is a drop of 0.1' between ingoing and outgoing pipes.
19. At SAN EX MH 1.0, revise the proposed 6" invert elevation to either match crowns with the existing outgoing sanitary sewer elevation or 0.1' higher than the existing outgoing sanitary sewer elevation, whichever is higher. The invert of the proposed lateral shall not exceed 2 feet above the spring line of the existing outgoing sewer pipe.
20. At SAN EX MH 1.0, add additional notation stating that the Contractor shall modify the bench in the existing manhole to accommodate the proposed pipe connection.
21. Label the locations of the underdrain cleanout locations in the proposed bio-filtration basin.

## Sheet C402 – Details

22. Stormwater Infiltration for this site is prohibited per Village Code Chapter 14.335 (d)(3)d.5: contaminants of concern are present within the soil through which infiltration will occur. Therefore, a liner shall be installed underneath the proposed bio-filtration basin. Liner shall meet the requirements of WDNR Technical Standard 1001. Add to the appropriate details.

23. If there will not be any vertical orifices for the proposed bio-filtration basin outfall structure, remove from the detail.
24. Specify the type of gravel to be used between the proposed bio-filtration basin underdrain and the engineered soil. Per DNR Technical Standard 1004, a maximum 4" layer of pea gravel shall be installed.
25. Clarify where the plan view is showing Sections A-A and B-B that the detail depicts.
26. Section A-A notes a 2-foot sump in the outlet control structure, but the detail specific to the Outlet Control Structure shows a 3-foot sump. Clarify.
27. Specify the opening size at the top of the outlet control structure.
28. Specify the breadth (dimension parallel to flow) of the overflow spillway.

Sheet C500 – Specifications

29. Revise the water service requirements to include the following:

**2.07 WATER SERVICES**

- A. All water service connections shall be constructed with the following:
  1. Corporation stops A. Y. McDonald 74701BQ or approved equal.
  2. Curb stops shall be A. Y. McDonald 76104Q or approved equal.
  3. Curb stop boxes shall be A. Y. McDonald 5660 or approved equal.
- B. For water services installed on PVC pipe water mains, all corporations, regardless of size, require the use of a tapping saddle.
- C. Saddles shall be all stainless steel construction with nitrile pad gasket Smith-Blair model 372 saddle or approved equal.
- D. The entire run of the service, regardless of size, from the main in the street to the meter in the dwelling, shall be a high density polyethylene (HDPE) tubing copper tube size (CTS) conforming to AWWA C-901 and ASTM D2737 SDR 9.0 NSF-14, class 200 (250 psi working pressure).
  1. Stainless steel stiffeners to be used on HDPE tubing connection.

Stormwater Management Plan

30. Note that this development is in the Village of Pewaukee, not the City. The applicable Municipal code references shall be revised accordingly.
31. As stated above, Stormwater Infiltration for this site is prohibited per Village Code Chapter 14.335 (d)(3)d.5: contaminants of concern are present within the soil through which infiltration will occur. Remove all infiltration calculations for clarity.
32. Revise peak discharge calculations utilizing the rainfall depth values per Village code chapter 14.336.

33. Use consistent units of measurement for modeling areas. In the existing peak discharge model, Subcatchment B is listed in acres, yet the other subcatchments are listed in square feet.
34. In the TSS modeling, all non-paved areas shall be routed through 100% cleaning devices so as to depict how the parking areas perform as accurately as possible.
35. In the TSS modeling, add the driveway pavement between the parcel line and curb line to area B.
36. Ensure consistency between modeling and plans for the overflow weir dimensions. The dimensions in the TSS model do not match the information given in the other models and plans.
37. Revise the stand pipe elevation above datum in the TSS modeling to be consistent with the plan.
38. Existing Conditions Map – The watershed tables denote the areas as “Proposed”. Please clarify.
39. Existing Conditions Map – Provide a time of concentration flow path and calculations justifying the use of 6 minutes in the existing condition.
40. Existing and Proposed Conditions Map – The areas and curve numbers do not match the modeling. Revise.
41. Existing and Proposed Conditions Map – There is additional disturbance area outside the areas delineated within the site access points on Forest Grove Drive and Quail Court. Add to the exhibit and incorporate into appropriate modeling calculations.

#### General Comments

42. A response memorandum addressing each of the above comments listed must be included in the next submittal. Note, that these comments are not all encompassing and that further comments may arise during future submittals.

Ballpark Commons Office Building  
7044 South Ballpark Drive, Suite 200  
Franklin, WI 53132  
(414) 336-7900  
foth.com

June 4, 2026

TO: Village of Pewaukee Plan Commission

CC: Matt Heiser – Village Administrator, Matt Gralinski- Village Attorney, Mackenzie Quigley – Village Clerk

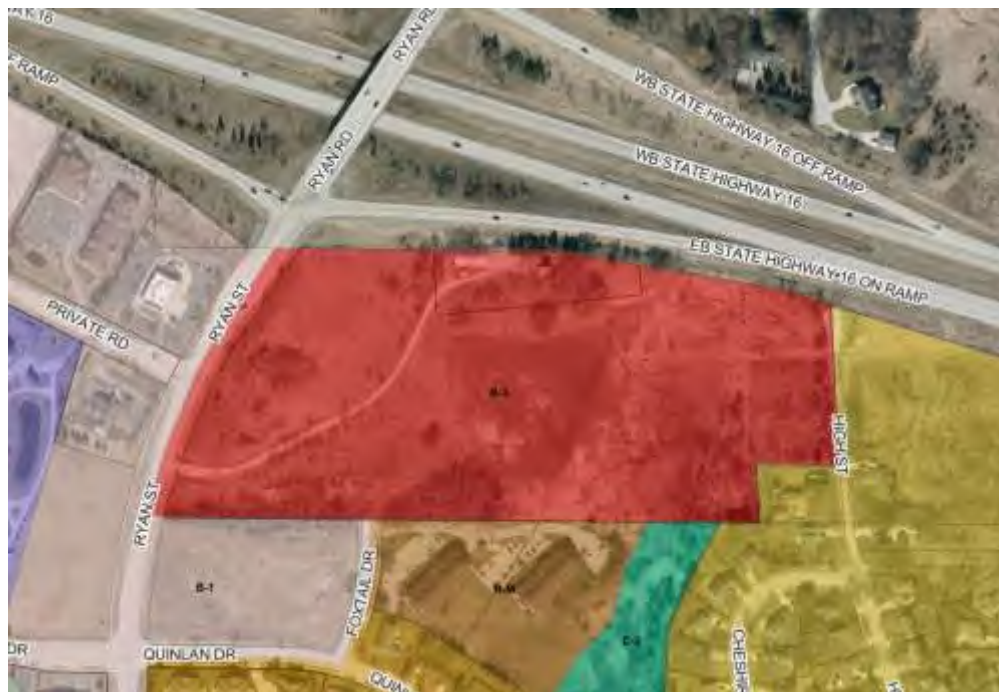
FR: Mark Lyons – Village Planner

RE: 5c - Review, discussion, and direction to staff regarding development along Ryan Street & Highway 16.

### **Possible ordinance to add a definition of building width.**

Over the past several months I have received upwards of 10 calls from developers interested in the approximately 22 acres located at the southeast corner of Ryan Street and Highway 16 in the Village of Pewaukee. Village Manager Heiser and I met in-person with some of the interested parties. All of the developers have specifically been interested in developing the property for some style of multi-family residential. As a result of those inquiries staff thought it would be relevant to discuss the Comprehensive Plan's existing recommendations for the area, as well as the current zoning of the subject area.

#### Current Zoning – B-3 Office & Service District



Future Land Use – office



Study Area - Ryan Street from Qunilan Dr to Hwy.16



Village of Pewaukee

DISCLAIMER:

This map is not a survey of the actual boundary of any property this map depicts.

The Village of Pewaukee does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.

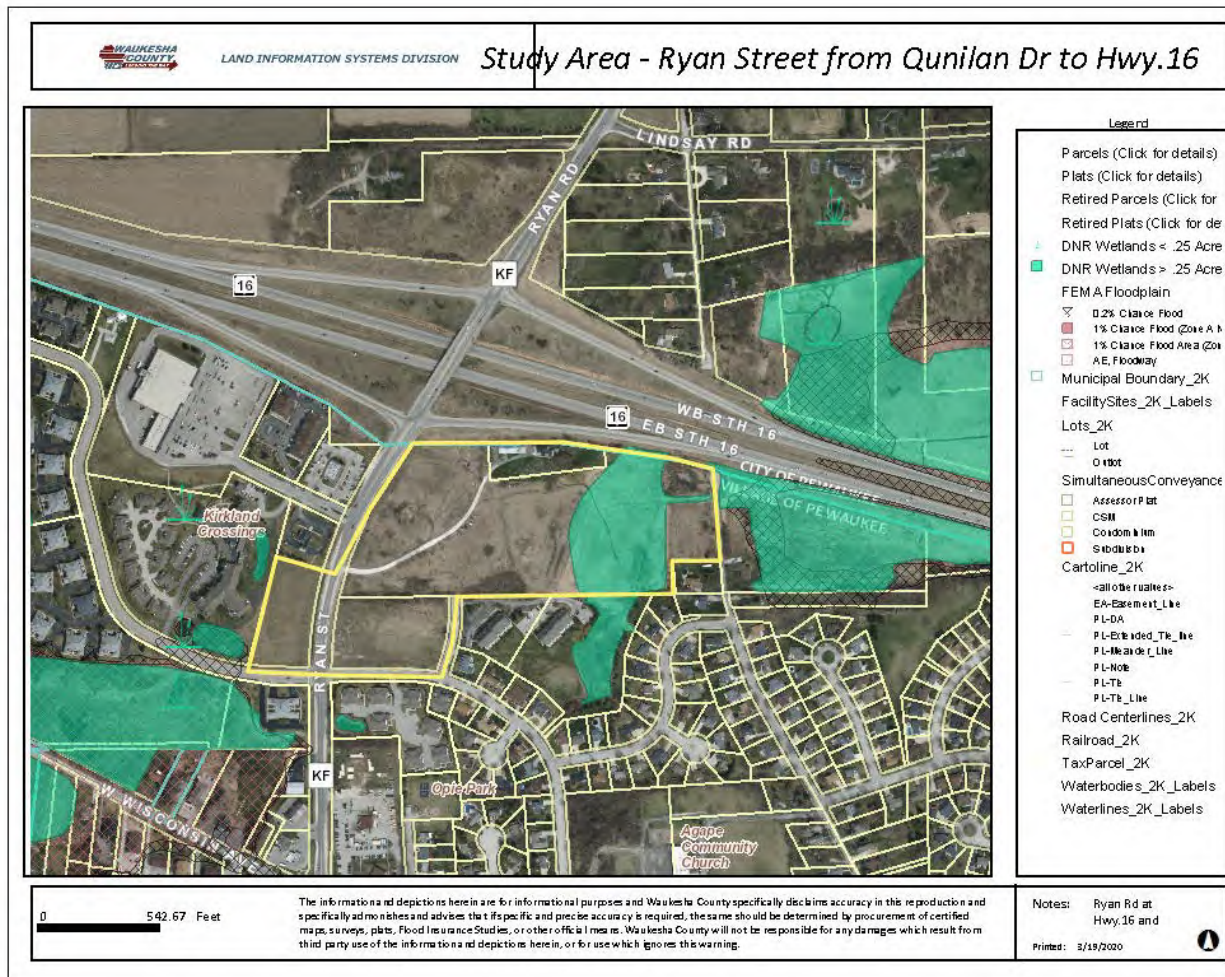


SCALE: 1 = 333'



Village of Pewaukee  
235 Hickory Street  
Pewaukee, WI 53072  
262-691-5660

Print Date: 3/11/2020



## GENERAL INFORMATION

### Ryan Street from Quinlan Drive to Hwy 16

<b># of Parcels:</b>	<b>4</b>
<b># of Property Owners:</b>	<b>4</b>
<b>Total Acres +/-:</b>	<b>28</b>
<b>Total Buildable Acres +/-:</b>	<b>22.75</b>

#### Current Land Use Designation:

- Part Community Commercial
- Part Office

#### Current Zoning Classification:

- Part B-3 Office and Service Business District
- Part B-1 Community Business District

#### Current Land Use Designation:

- Part Office

- **Part Community Commercial**

**Desired Future Land Uses (for example):**

- **Professional office, entertainment, hotel, dining, and mixed use.**

**Guided Future Zoning Classification:**

- **Part B-3 Office and Service Business District**
- **Part B-1 Community Business District**

**Utilities and Infrastructure Access:**

- **Adjacent to Existing Public Street(s)            Y**
- **Adjacent to Existing Sanitary Sewer:            Y**
- **“ “ Water    Y**
- **“ “ Storm Sewer                                        Y**

**ECONOMIC ASSISTANCE TOOLS AVAILABLE TO ASSIST DEVELOPMENT:**

- **Pursue information/assistance from Waukesha County Center for Growth**

**ADVANTAGES TO DEVELOPMENT:**

- **Immediate access to Highway 16/Ryan Road interchange;**
- **Walkable to Downtown;**
- **Relatively few owners;**
- **Vacant land for the most part;**

**CHALLENGES TO DEVELOPMENT:**

- **County controls access points to Ryan Road;**